



# The Village of Bethalto, Illinois Comprehensive Plan January 2014



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# Chapter One

## Chapter 1: Introduction

This section is an introduction to the 2014 Comprehensive Plan for the Village of Bethalto. The chapter details those who made the Plan possible in the Acknowledgements section, the Vision Statement created to give the Plan an overall theme, and a brief introduction about what a Comprehensive Plan is and some general information about the Village.

### In this Chapter:

**Section 1.1: Acknowledgements**

**Section 1.2: Vision Statement**

**Section 1.3: Introduction**



## Section 1.1: Acknowledgements

### **Village President:**

Alan Winslow

### **Trustees:**

Gerald Bourland

Perry Withers

Robert DiPaolo

Jeff Mull

Gary Bost

Brady Dugger

### **Village Clerk:**

Sue Lowrance

### **Plan Commission:**

Ed Slayden

Craig Welch

Dee Eberhart

Kurt Brown

Jeff French

Ken Wood

### **Public Works:**

Jay Kilmer

### **Assistant to Mayor:**

Jeff Allsman

### **Police Chief:**

Gregg Smock

### **Fire Chief:**

Rich Mersinger

### **Village Attorney:**

Kenneth Balsters

### **Stormwater Planning:**

SMS Engineering

## Section 1.2: Vision Statement

The Village of Bethalto is and will continue to be a safe and family friendly community with easy access to the St. Louis metropolitan area. The Village prides itself with responsive public service departments including top quality education, senior services, and a wonderful park system. Our thriving business district offers competitive economic opportunities, and our active church community helps make Bethalto an excellent place to work, live, and raise a family.

## Section 1.3: Introduction

A comprehensive plan is an official public document adopted by a local government to state a desired vision for the future of the community and to serve as a policy guide for decisions regarding the Village. The plan acts as a working document making recommendations on issues concerning physical, environmental, social and economic development of the community. It derives heavily from a thorough analysis of existing conditions as well as the recommendations and survey results of the people in the community.

The comprehensive plan is meant to serve as a guide, against which specific development plans and proposals can be checked to determine whether they are consistent with the goals and objectives of the Village. It also provides the basis for the zoning ordinance of the Village, increasing its legal validity. Moreover, the adoption of a comprehensive plan is an indication that the community cares about the quality of life of its people, is ready to invest in itself and has a vision for its future.

The Village of Bethalto comprehensive plan is an effort on the part of the people to come together to build consensus on the future of the Village, to enhance its physical structure, to increase the economic opportunities and to improve the quality of life for its people.

*Figure 1.1-1: Bethalto Quick Facts*

<b>Bethalto Quick Facts</b>	
<b>2010 Population</b>	9,521
<b>Change since 2000</b>	+1%
<b>Year Founded</b>	1834
<b>Zip Code</b>	62010
<b>Area Code</b>	618
<b>County</b>	Madison
<b>Township</b>	Wood River; Ft. Russell; Foster
<b>Congressional District</b>	12 <sup>th</sup> & 13 <sup>th</sup>
<b>State Senate District</b>	56 <sup>th</sup> & 54 <sup>th</sup>
<b>State Rep. District</b>	111 <sup>th</sup> & 112 <sup>th</sup>
<b>School District</b>	Bethalto CUSD #8; Edwardsville CUSD #7; Roxana CUSD #1
<b>College</b>	Lewis and Clark Community College; SIU-Edwardsville

# Chapter Two

## Chapter 2: Community Profile

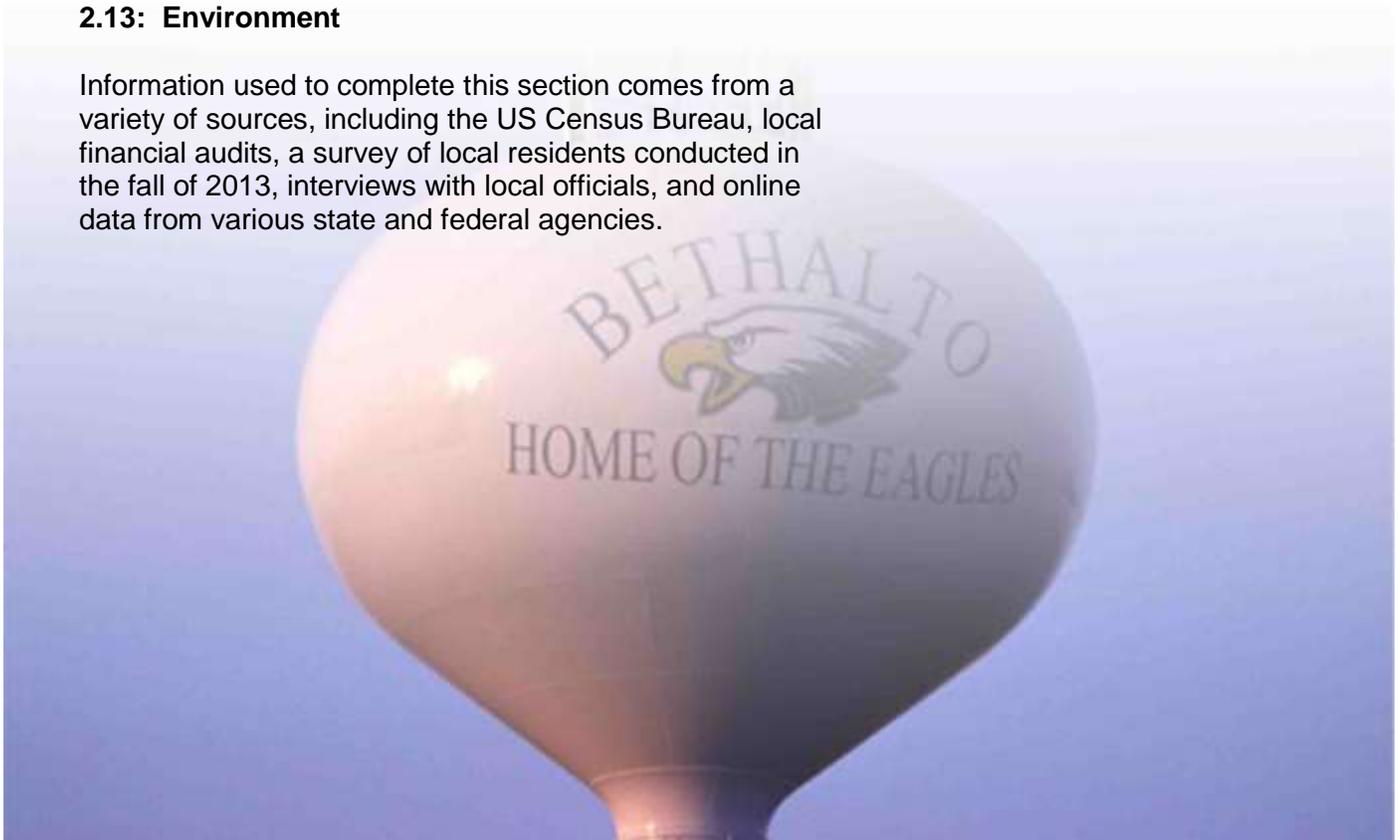
This section profiles the Village of Bethalto. It describes past and current trends and issues. The purpose of this section is to provide an in depth description of the Village and a basis for the recommendations that follow. This section is also meant to serve as a reference for Village officials and community members.



### In this Section:

- 2.1: General Overview and History**
- 2.2: Demographic Overview**
- 2.3: Demographic Trends**
- 2.4: Households and Housing**
- 2.5: Transportation**
- 2.6: Local Economy and Jobs**
- 2.7: Public Infrastructure and Services**
- 2.8: Parks and Recreation**
- 2.9: Public Safety and Emergency Services**
- 2.10: Education**
- 2.11: Retail and Commerce**
- 2.12: Land Use**
- 2.13: Environment**

Information used to complete this section comes from a variety of sources, including the US Census Bureau, local financial audits, a survey of local residents conducted in the fall of 2013, interviews with local officials, and online data from various state and federal agencies.

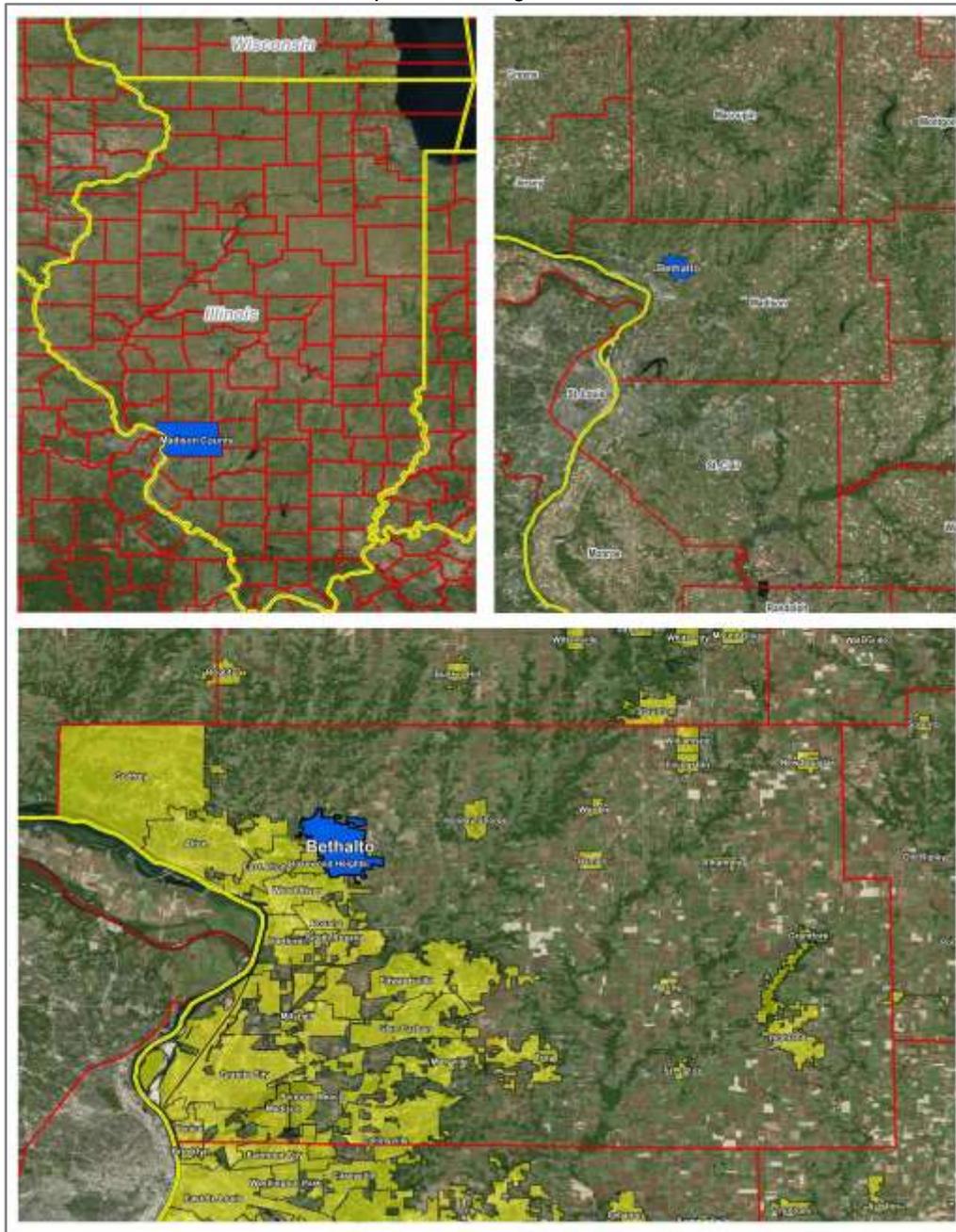


## Section 2.1: General Overview and History

### Village Location

Generally speaking, the Village of Bethalto is part of Madison County, which is located in the southwestern portion of the state of Illinois. Within the County itself, Bethalto is located in the northwestern quarter of the county adjacent to Alton, East Alton, Rosewood Heights, and Wood River.

Map 2.1-1: Village Location



More specifically, the Village is located in northern Madison County along Illinois Route 255. Route 140 bisects the Village, with the northern portion containing most of the residential and

commercial portions and the southern portion serving as home to the St. Louis Regional Airport complex. Bethalto is less than 10 miles from the confluence of the Missouri and Mississippi Rivers and is part of the Illinois Metro East portion of the Greater St. Louis metropolitan area. Being located just 15 minutes north of Interstate 270 and 10 minutes west of Interstate 55, the Village enjoys ease of access to many of the region's major metropolitan centers.

## **History**

Bethalto was founded in 1834, incorporated April 19, 1869, under a special charter and again in 1873 under the State of Illinois' general law. It is governed by a Village President and six trustees elected at large.

The original name of Bethalto was Bethel. However, when the first post office was established, it was discovered that there was already a Bethel, Illinois. There is a general consensus that the name "Bethalto" came from the first four letters of Bethel and the first four letters of nearby Alton.

Three words sum up the early history of Bethalto: grain, coal and trains. The first settlers in the area arrived in the early 19th century and found a land blessed with rich soil and various outcroppings of coal. The construction of the Alton-Terre Haute Railroad in the mid-1850s ensured Bethalto's destiny as a farming and mining center.

It was around 1809 when large numbers of settlers arrived in the area, many of them Dutch and German settlers who came to farm. Native Americans also lived in the area; Kickapoo villages along a creek in the area led to it being named Indian Creek. Many Indian relics have been found in that vicinity, located east of the village. Blockhouses were built in case protection might be needed, but there were few problems and only one recorded massacre in 1814.

Bethalto was favored in many ways to become an early settlement. It had good soil for growing grain and all needed food. There was a good vein of coal which had outcroppings that were discovered at an early date. There was a healthy growth of timber, especially on the west, north and south sides of the site which included oak, hickory, walnut and other trees suitable for making building materials. The roads were also better than usual in a time when trails were the roads and ferries were the bridges. Game was plentiful, with an abundance of squirrels, rabbits, turkey, prairie hens and other game.

About the time that the railroad was being constructed in the 1840s and 1850s, the population had grown to the point that it was necessary to plat further development. The first plat was laid out by Joe Starkey and was recorded on June 23, 1854. This is considered to be the humble beginning for Bethalto.

At one time, a railroad track was located where Erwin Plegge Boulevard is today. The railroad, the second one built in Madison County, passed through the center of town and was responsible for the growth of Bethalto. The town consisted of four blocks facing the railroad— West Main and Sherman streets on the south and Mill and Third (now Central) to Oak Street on the north. The railroad, built between 1854 and 1856, was extended to St. Louis and was known as the St. Louis & Terre Haute. Later, it was taken over by the Big Four and then the New York Central. Railroads were the major transportation before the days of the car. Therefore, most towns were located near a railroad. The railroad linked Bethalto to the Mississippi River so the people could market flour and coal. The opening of the rail line through Bethalto enabled the coal milled here to be transported to a dock on the Mississippi River near what is now the town of Hartford. From there, coal was carried by steamboat to towns throughout the Midwest. This

encouraged the development of more mines. At one time, there were at least 40 mines in or near Bethalto.

Yankee Diggins, one of the largest coal mines in the state of Illinois, was located in Bethalto. During the Civil War in 1861-1865, mine production was down. Following the Civil War, coal production rose; but by 1900, almost all the mines were gone. One by one, they closed during the first decades of the 20th century as the coal supply was depleted and the market diminished. Today, there are no coal mines operating anywhere in Madison County.

Mills also formed a very important part of Bethalto's early history. Construction of the railroad through the village proved to be as pivotal for the milling industry as it had been for coal mining. At one time, Bethalto was one of the most important flour milling towns in the nation and was home to the largest mill in Illinois.

As the 20th century progressed, Bethalto underwent a gentle transformation. Flour milling and coal mining gave way to corn and soybean farms and industry. Transportation remained a major factor in the village's development, but the methods changed.

Construction began in 1946 on what was then called Walston Aviation. Now known as St. Louis Regional Airport, subsequent expansion and addition of an office and industrial park are helping to propel Bethalto into the future.

The railroad era ended for Bethalto in 1966. The right-of-way was offered to the village by the New York Central Railroad Company, which last operated the line. The village did not have the \$15,000 the rail company was asking for the 32 acres (13 ha) of land, so Bethalto National Bank stepped in and provided assistance for the purchase. This made possible the cross-town Bethalto Expressway (Erwin Plegge Boulevard), a new home for the bank, and a park and arboretum for the village.

While Bethalto has moved forward, the village has not forgotten its past. The old Village Hall, built in 1873 and enlarged in 1885, is a two-story brick Victorian/Italianate town hall. It is the oldest government building still in use in Madison County. Recognizing its historical significance, it was placed on the National Register of Historic Places in 1987 and serves as the village's Bethalto Museum. Bethalto's tiny one-room jail can still be seen today. The museum contains exhibits on Bethalto's past, including the role of its citizens in World Wars I and II. Other exhibits include the founding of the town, the annual Homecoming Celebration, and a recreated classroom from the past. In 1998, a fire at a local home revealed a perfectly preserved log cabin within the structure. State historical preservationists estimate that the cabin was built in the mid-1800s. Bethalto school children were asked by the Bethalto Rotary Club to help raise the funds needed to move and restore the cabin to its present site next to the museum. The "History Makes Cents" campaign collected more than one million pennies (\$10,000). The Bethalto Log Cabin stands as a symbol of the village's pioneer past as well as the resourcefulness of its present youth.

## Section 2.2: Demographic Overview

### Population Trends

Bethalto has had fairly stable population levels according to recent data. According to Census reports, the population of Bethalto in 1990 was 9,507 residents. 10 years later, the 2000 reports documented a very small loss in population, with only 9,454 residents; a loss of less than 1%. The most current Census data shows that as of 2010, the population was 9,521; a 0.7% increase from 2000, and very similar population to that of 1990.

These population trends can be characterized as slightly stagnant when compared to the County, which experienced a population growth of approximately 4% between 2000 and 2010, and the state of Illinois as a whole, which saw a 3.3% growth in population in the same time span. This means that although the region and state are seeing increased population levels, Bethalto has been unable to draw any of these new residents into the Village. Assuming these trends are representative of future population forecasts, it can be projected that Bethalto's population will remain near its current level unless active steps are taken to increase residency within the Village.

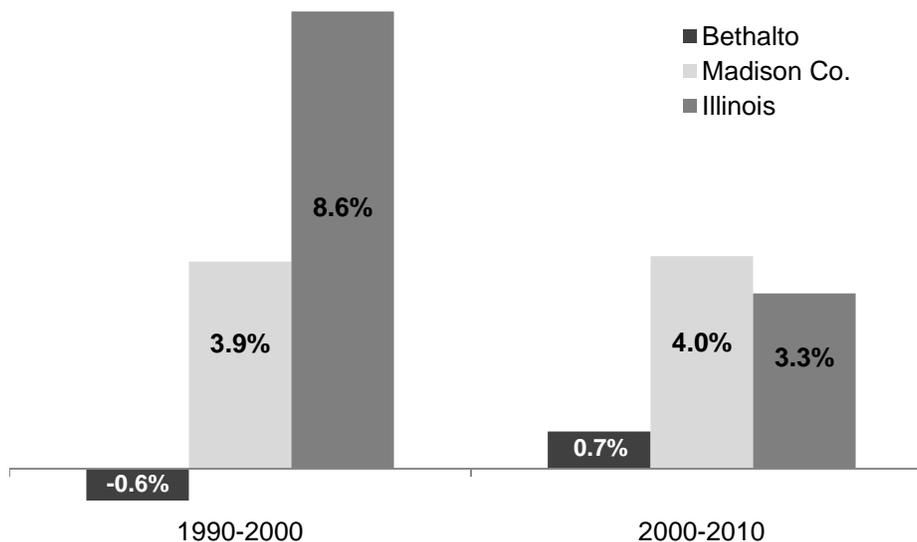
Figure 2.2-1: Population Statistics

Total Population			
	1990	2000	2010
<b>Bethalto</b>	9,507	9,454	9,521
<b>Madison Co.</b>	249,238	258,941	269,282
<b>Illinois</b>	11,430,602	12,419,293	12,830,632

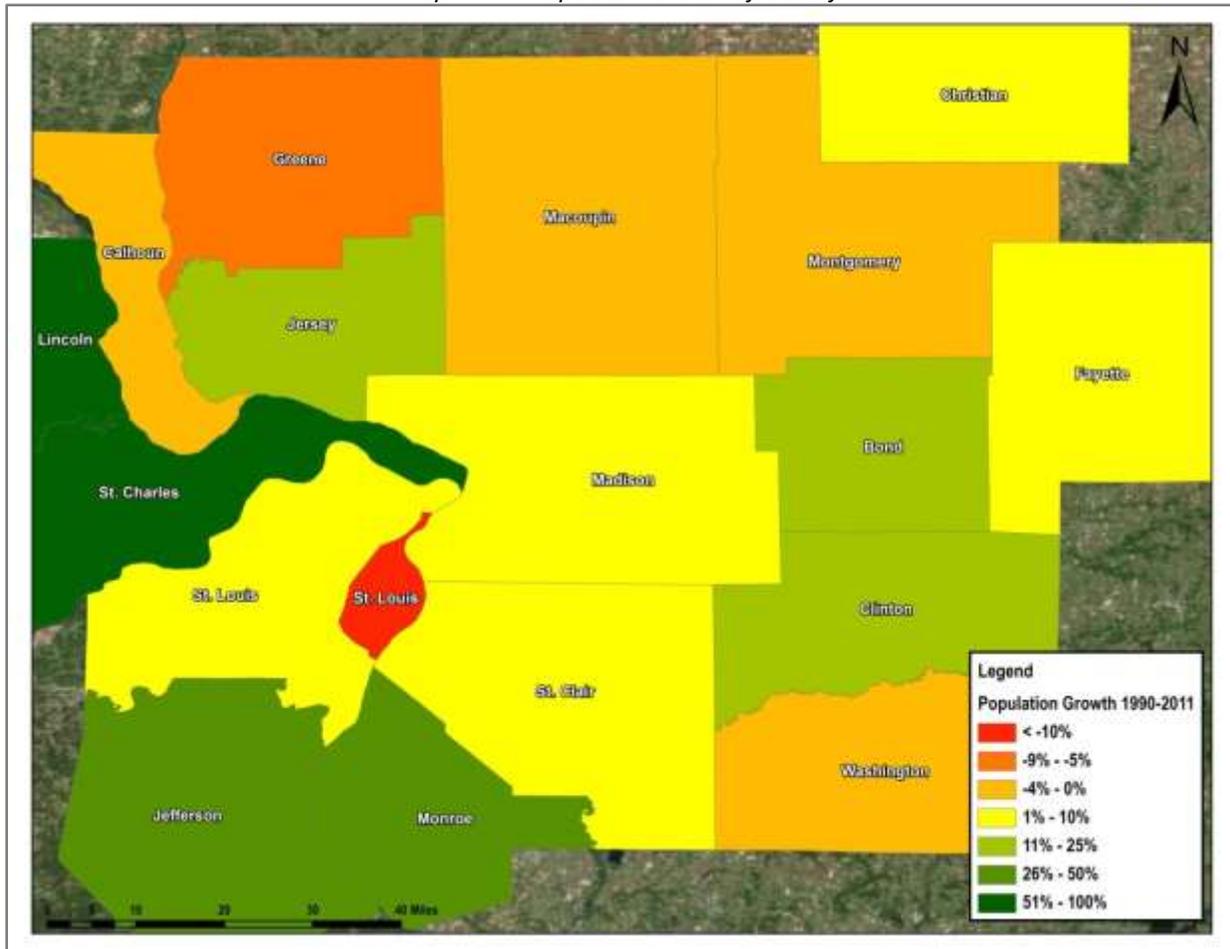
Population Growth			
	1990	2000	2010
<b>Bethalto</b>	-	-0.6%	0.7%
<b>Madison Co.</b>	-	3.9%	4.0%
<b>Illinois</b>	-	8.6%	3.3%

Figure 2.2-2: Population Growth



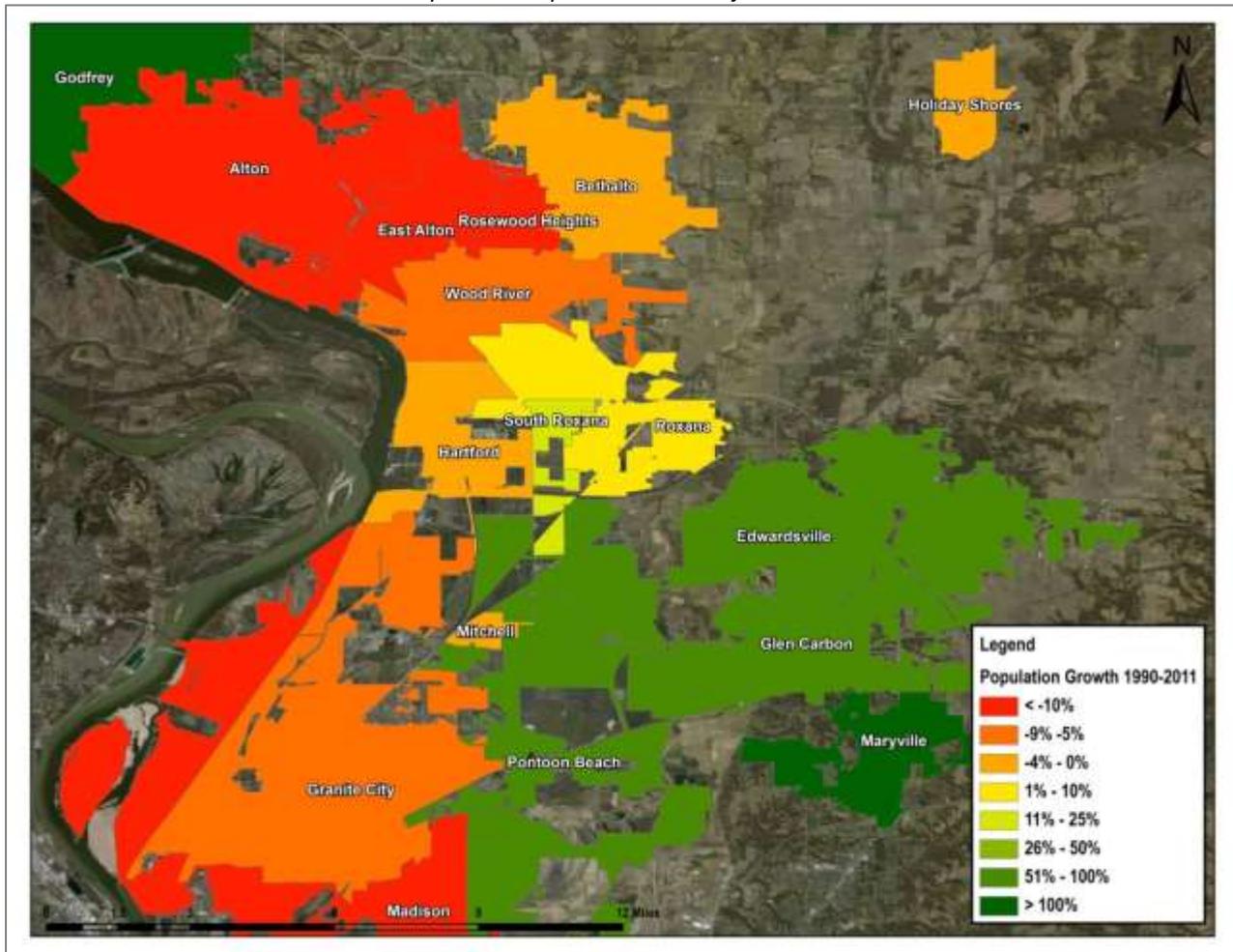
## Regional Comparisons

Map 2.2-1: Population Growth by County



From 1990 to 2011, Madison County has seen an 8% increase in population. This is modest growth compared to those counties that saw significant increases in population over this time period (St. Charles: 67%, Lincoln: 80%, Monroe: 46%), but still significant considering how many neighboring counties actually lost population (St. Louis City: -20%, Greene: -9%, Montgomery: -2%).

Map 2.2-2: Population Growth by Place

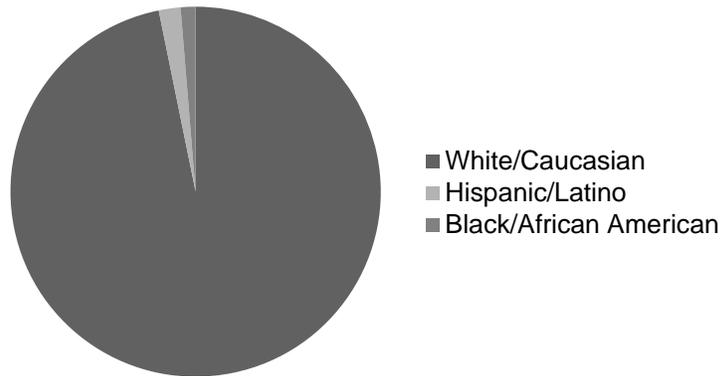


From 1990 to 2011 Madison County as a whole saw an 8% increase in population. That population growth was not uniformly spread across the municipalities in the area, however. As detailed previously, the Village of Bethalto has had stagnant population growth. Between 1990 and 2011, there was an increase of 18 residents (9,507 in 1990 and 9,525 in 2011). While the Village is struggling with continued population growth, comparatively the Village is successful in maintaining its steady population numbers. Many of the neighboring communities have lost population over this time period, with Rosewood Heights having lost 17%, Alton losing 14%, and both Madison and East Alton having lost 10% of their total populations.

### Race and Ethnicity

The predominant ethnic group in Bethalto is White or Caucasian individuals, who make up 96.8% of the total population. Hispanic or Latino individuals are the second most prevalent, comprising just under 2% of the population while Black or African American residents make up the remaining 1.3%. All remaining categories of ethnic groups comprise less than 1% of the total population.

Figure 2.2-3: Race and Ethnicity

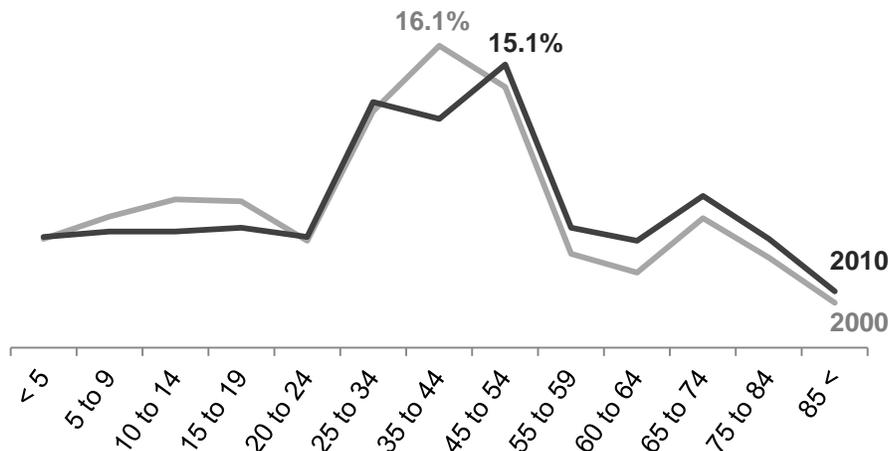


Although not very racially diverse, Madison County as a whole is approximately 90% White or Caucasian, causing Bethalto to not stand out significantly from the trends within the region.

### Age and Gender

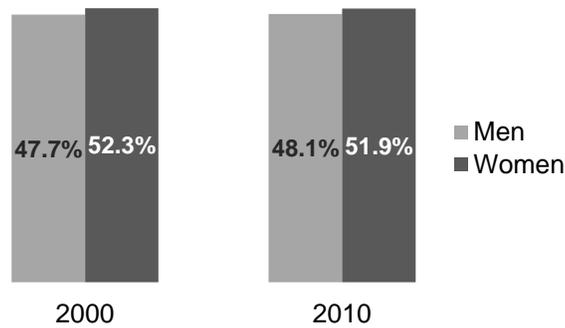
When looking at the ages of the population of Bethalto, we find that it resembles the typical distribution for the Madison County and Illinois. Figure 2.2-4 shows the age distribution in the Village in the years 2000 and 2010. Aside from the slightly larger portion of individuals in the 35 to 44 age range in 2000, Bethalto's age distribution is fairly standard and uniform between the two Census counts. The majority of Bethalto's residents are between 25 to 54 years old. The median age for the Village was 36.9 in 2000 and increased slightly to 40.3 by 2010. This trend of an aging population is also applicable to Madison County and the U.S. who are also experiencing similar aging patterns.

Figure 2.2-4: Age Distribution



Historically, the female population has been slightly higher than the male population in the Village. In 2000, women comprised 52.3% of the total population while men were the other 47.7%. By the year 2010, the gap had closed slightly, but women still were a majority of the population by almost 4%.

Figure 2.2-5: Gender Distribution



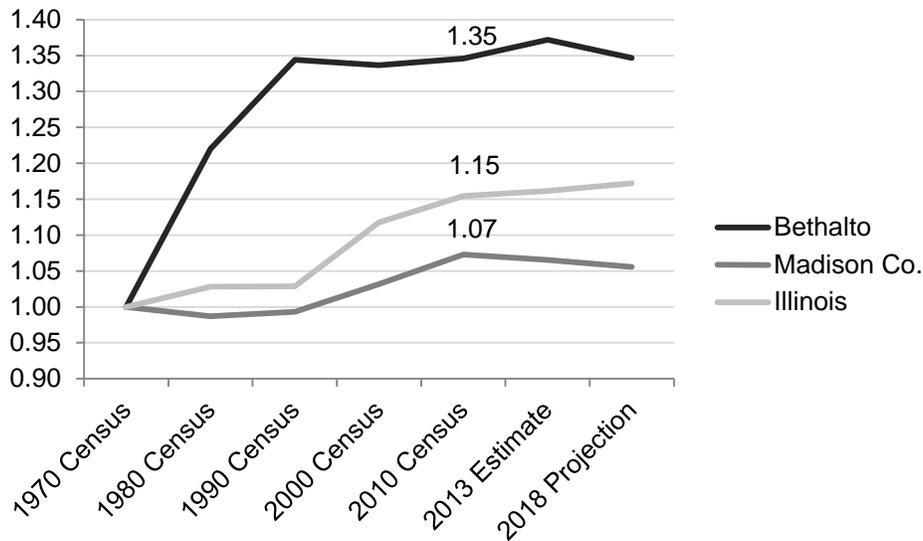
### Section 2.3: Demographic Trends

As indexed from 1970, population trends between Bethalto, Madison County, and the State of Illinois are shown in Figure 2.3-1. Bethalto experienced fairly significant growth between 1970 and 1990. From 1990, however, the population level became relatively stable and growth became stagnant.

In contrast to Bethalto’s trend of unchanging population levels post 1990, both Madison County and the State of Illinois experienced periods of growth from 1990-2010.

Current estimates show that there has been very little population growth in all 3 regions from 2010 to 2013, and future projections predict slight population losses in both Madison County and Bethalto by 2018.

Figure 2.3-1: Indexed Population Trends 1970 Census to 2018 Projections



Population stagnation in the region can be attributed to many local and national trends, including the decline of manufacturing, consolidation of markets, and an aging population.

Another factor attributing to population stagnation is the decline of the river-based economy in recent history. The importance of river traffic has decreased steadily over the last century, resulting in a region-wide decline in jobs.

## Section 2.4: Households and Housing

### Households

Bethalto has gained almost 1700 households in the past 40 years (since 1970). Several strong periods of growth existed up until 1990, but growth from 1990 to 2013 only indicate an increase in approximately 200 units. It can reasonably be stated that the growth of households in the Village is becoming stagnant.

Figure 2.4-1: Households

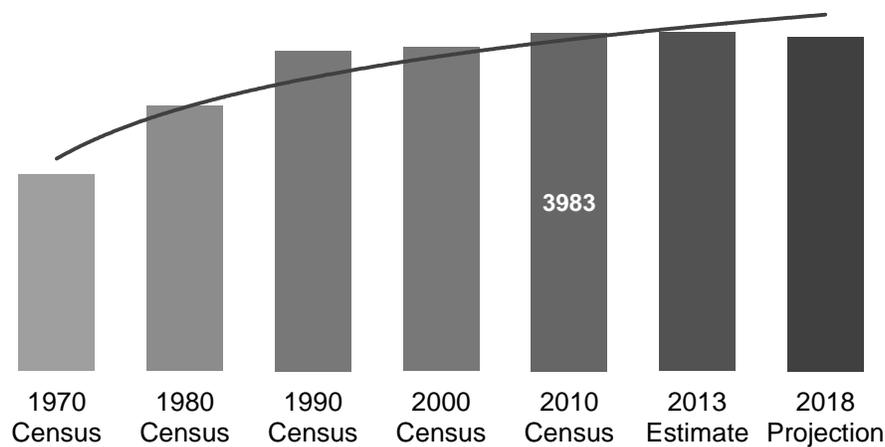
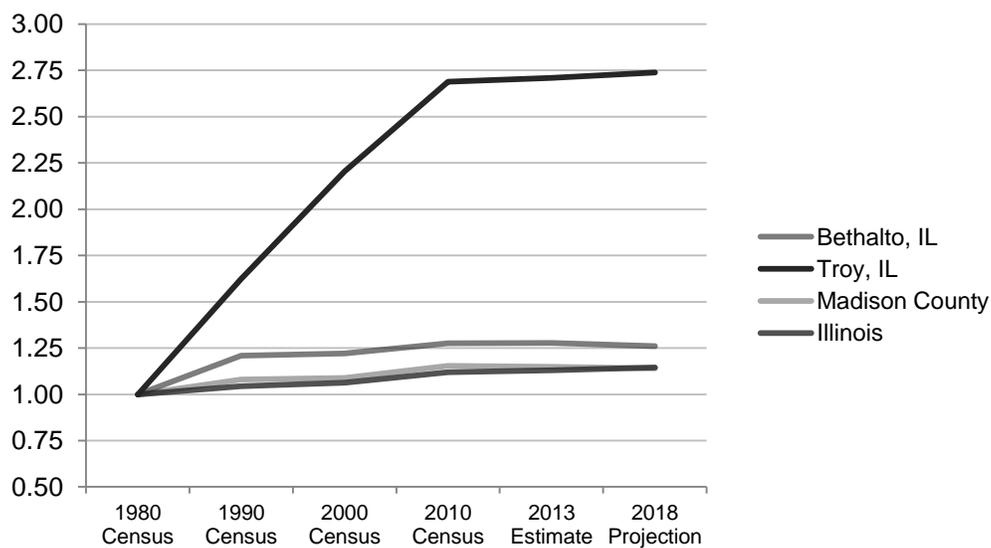


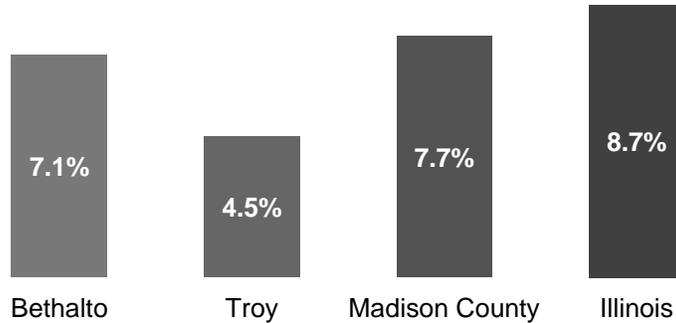
Figure 2.4-2: Indexed Household Growth 1980 Census to 2018 Projections



### Household Occupancy

According to 2010 Census data, Bethalto's vacancy rate is about 7%, which is actually lower than both the County and State rates. A 7% vacancy rate is relatively low when considering the region as a whole, but as is shown by the sub 5% vacancy rate of Troy, there is always room for improving this statistic. Lower vacancy rates show that the demand for housing more closely meets the availability within the community, and is an indicator of how healthy housing markets are in a given area.

Figure 2.4-3: Vacancy Rates 2010



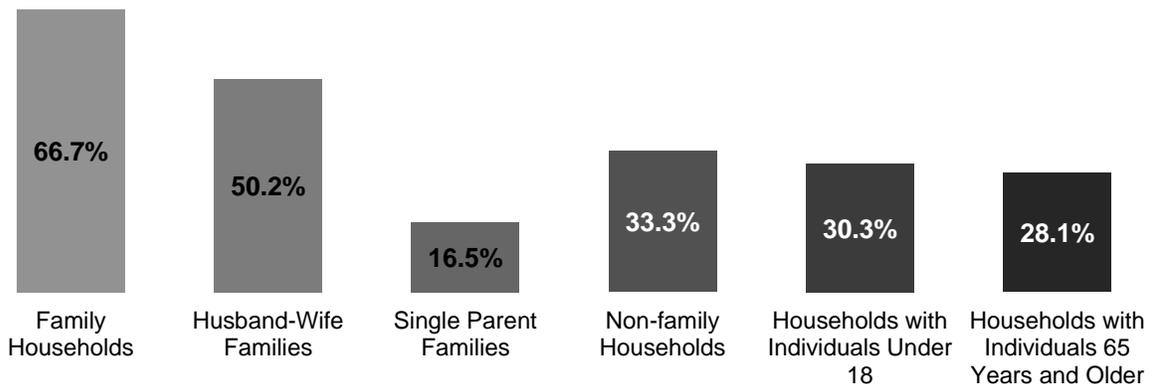
Owner occupied housing units in Bethalto comprise 71.3% of the total housing units in the Village while renter occupied units make up the remaining 28.7%.

Owner Occupied Units: 71.3%  
Renter Occupied Units: 28.7%  
Building Permits Issued: 20  
Vacant Lots Available: 450

### Household Structure

Two-thirds of all households in Bethalto are family households (66.7%). To be more specific, 50.2% of households are traditional husband-wife families and 16.5% are single parent families. 30.3% of households have children living in them that are under the age of 18 and 28.1% of households are home to individuals 65 years and older.

Figure 2.4-4: Household Composition 2010



Average Household Size: 2.33  
 Average Family Size: 2.93

Figure 2.4-5: Households by Type

HOUSEHOLDS BY TYPE – 2010 Census	Number	Percent
Total households	3,983	100.0
Family households (families)	2,656	66.7
With own children under 18 years	1,118	28.1
Husband-wife family	1,999	50.2
With own children under 18 years	730	18.3
Male householder, no wife present	196	4.9
With own children under 18 years	109	2.7
Female householder, no husband present	461	11.6
With own children under 18 years	279	7.0
Nonfamily households [7]	1,327	33.3
Householder living alone	1,134	28.5
Male	502	12.6
65 years and over	123	3.1
Female	632	15.9
65 years and over	380	9.5
Households with individuals under 18 years	1,207	30.3
Households with individuals 65 years and over	1,121	28.1
Average household size	2.37	( X )
Average family size	2.89	( X )

### Housing Tenure

Of the 3,983 occupied housing units in Bethalto, 2010 Census Reports show that 1,144 are renter-occupied (28.7%) and 2,839 are owner-occupied (71.3%). The home ownership rate is just below the County rate of 72.6%, but above the state-wide rate of 67.5%.

### Housing Type

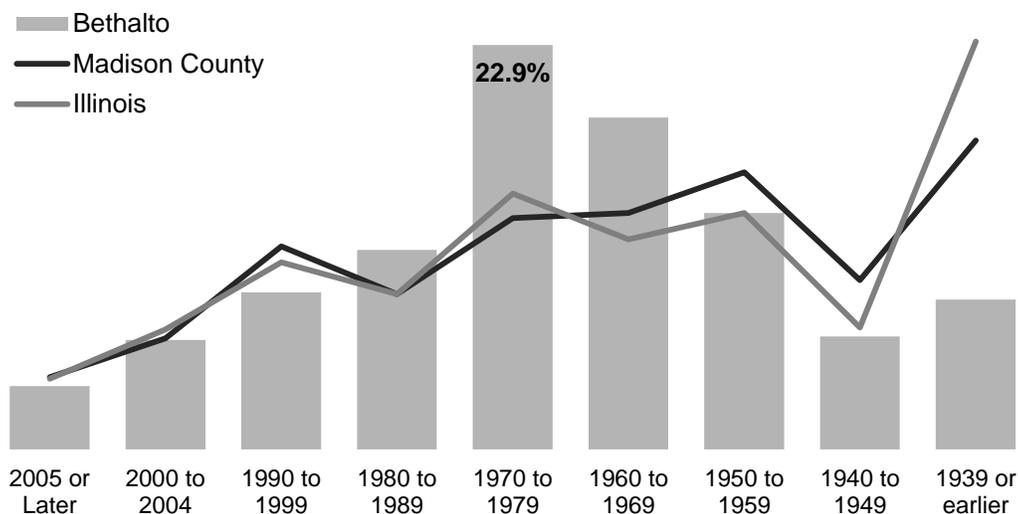
According to 2011 Estimates, the most common type of housing unit in the Village are 1-unit detached homes, making up 76.1% of the total housing types. This is also the most common housing type in the state and the region. Small apartment buildings or townhomes consisting of 3 to 4 units is the second most common housing type, making up 9.3% of the housing types in Bethalto. 2-unit structures are the third most common at 4.1%.

### Housing Unit Age

Compared to the County and the State, homes in Bethalto are relatively newer. Almost 23% of homes in the Village were built from 1970 to 1979 (30-40 years old as of 2010). The second most common time period for new homes being built was 1960-1969, with 18.8% of homes in Bethalto being built during that time frame. Both Madison County and Illinois have a much

higher percentage of housing units built in 1939 or later. These figures are based on 2011 Estimates from the United States Census Bureau.

Figure 2.4-6: Housing Unit Age by Year Built

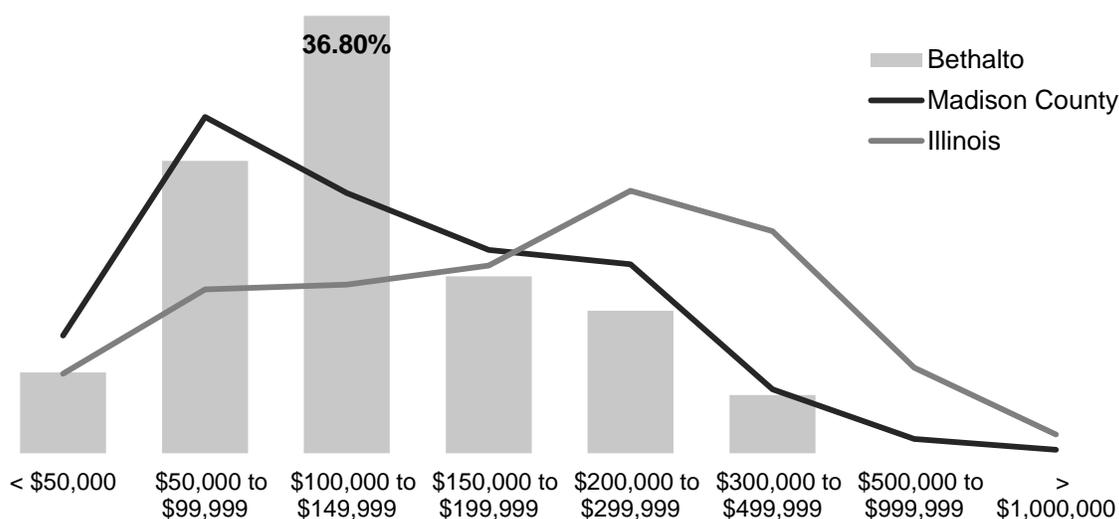


### Home Values

The median home value of owner occupied housing units in Bethalto is \$120,700. Homes valued between \$100,000 and \$149,999 comprise just over 35% of the total owner occupied homes in the Village, making it the most common value range. The second most prevalent home value range is between \$50,000 and \$99,999, at just under 25%. As of 2011, there were close to no homes in Bethalto valued at more than \$500,000.

In comparison to the County, Bethalto finds similar trends in the composition of its housing market in terms of value.

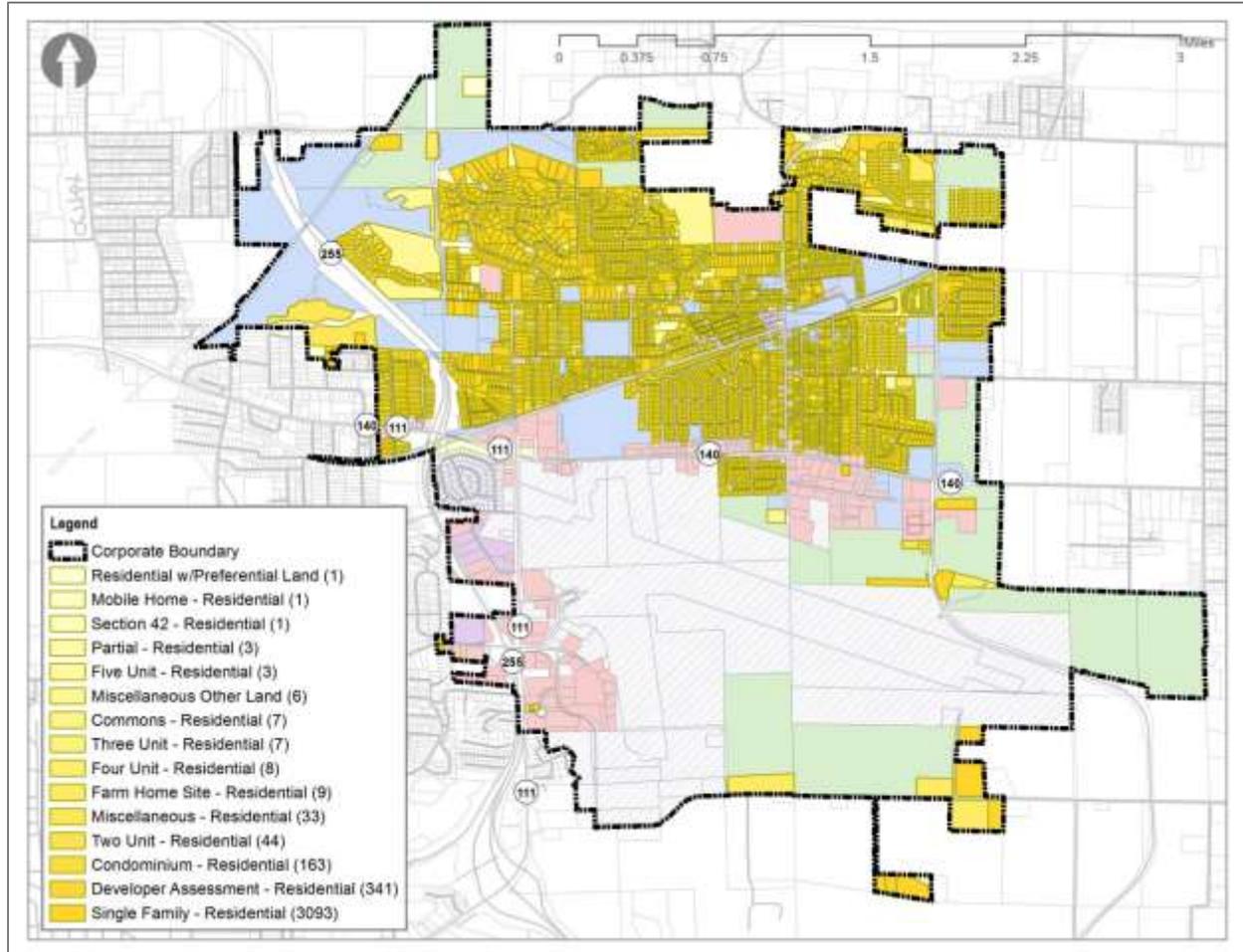
Figure 2.4-7: Owner Occupied Home Values



Values for Owner Occupied Units (2011 Estimates):  
 Bethalto Median Home Value: \$120,700  
 Madison County Median Home Value: \$124,300  
 Illinois Median Home Value: \$198,500

## Housing Location

Map 2.4-1: Residential Parcels

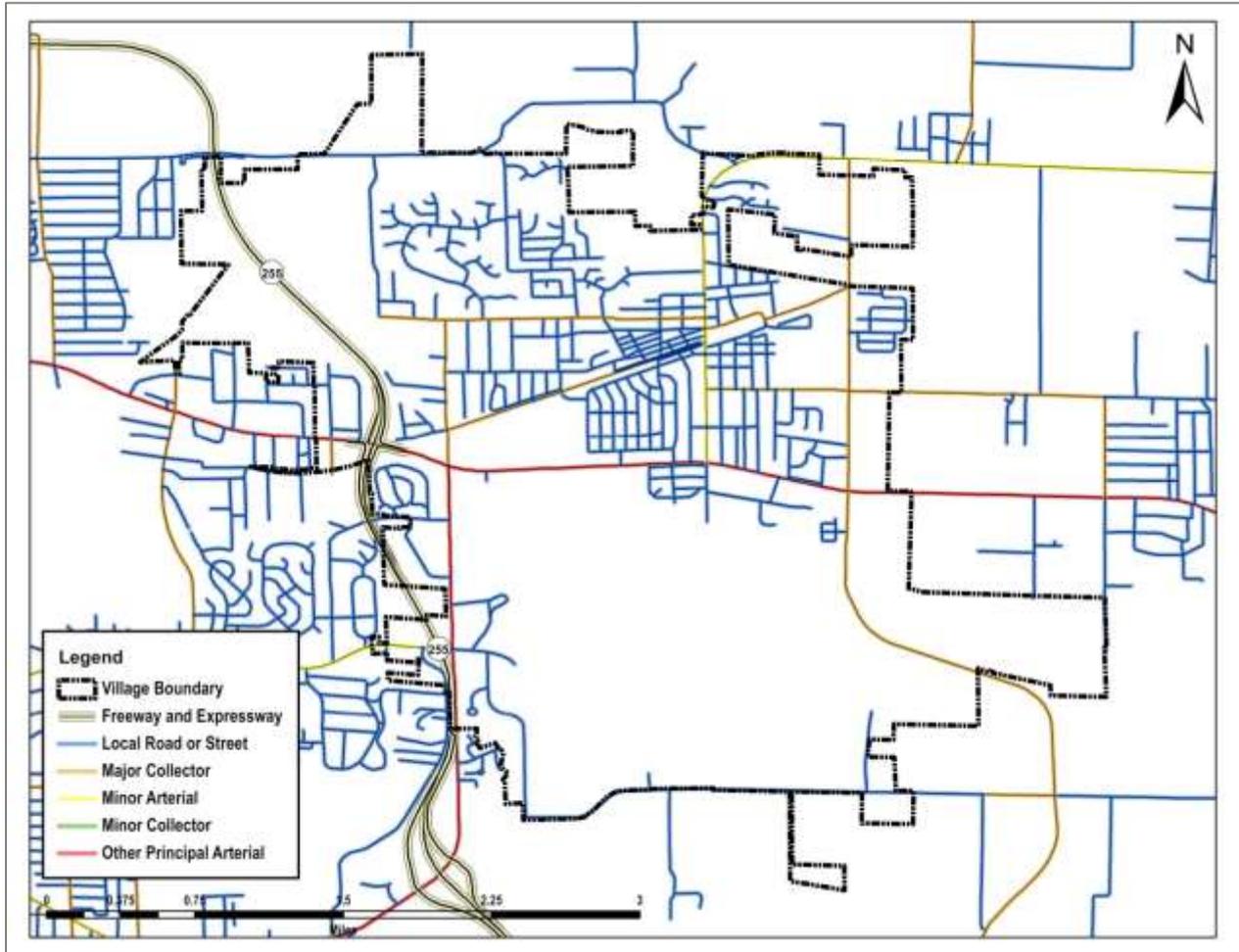


The majority of the residential parcels in the Village are single family residential properties. These single family residences are primarily located in subdivisions in the northern portion of the Village. With much of the property in the southern portion of the Village currently dedicated to airport uses, there is little undeveloped land for new residential development. 184 parcels designated for residential uses are currently vacant. Primarily, these vacant parcels are in subdivisions, with some larger parcels that could be subdivided.

## Section 2.5: Transportation

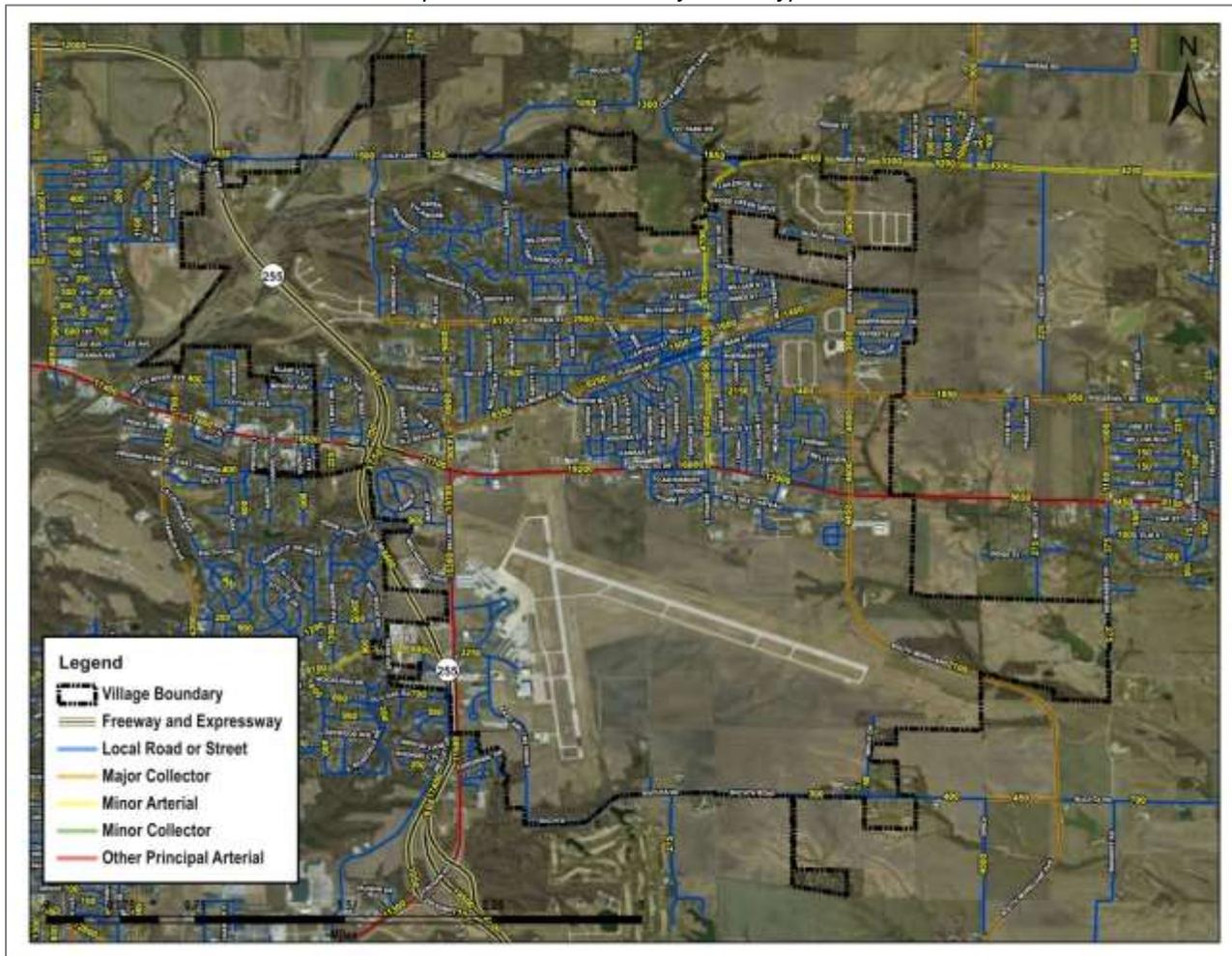
Map 2.5-1 shows the street network in and around the Village by street type. The major roadways are Highway 255, which runs through the northwestern portion of the Village, Illinois 140, which runs through the middle, and Illinois 111, which runs south in the southwestern portion of the Village. Major collector streets deliver traffic between the principle roads and the local roads/streets which serve much of the residential areas in the Village.

Map 2.5-1: Street Network by Street Type



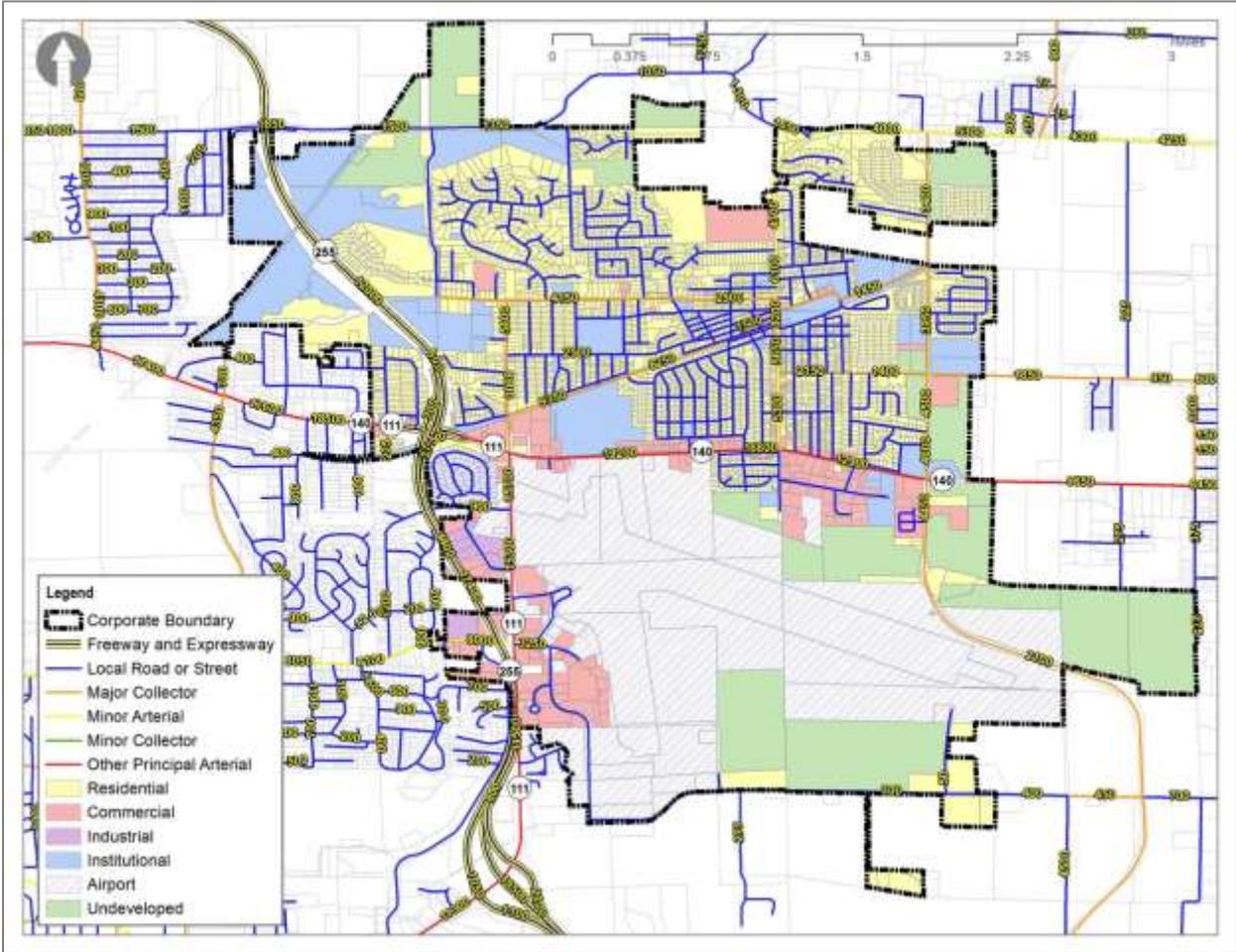
Map 2.5-2 shows the distribution of traffic volume throughout the Village. The highest average annual daily traffic (AADT) counts are along IL-255, followed by IL-140, IL-111, Erwin Plegge Boulevard, and Prairie Street.

Map 2.5-2: Traffic Counts by Street Type

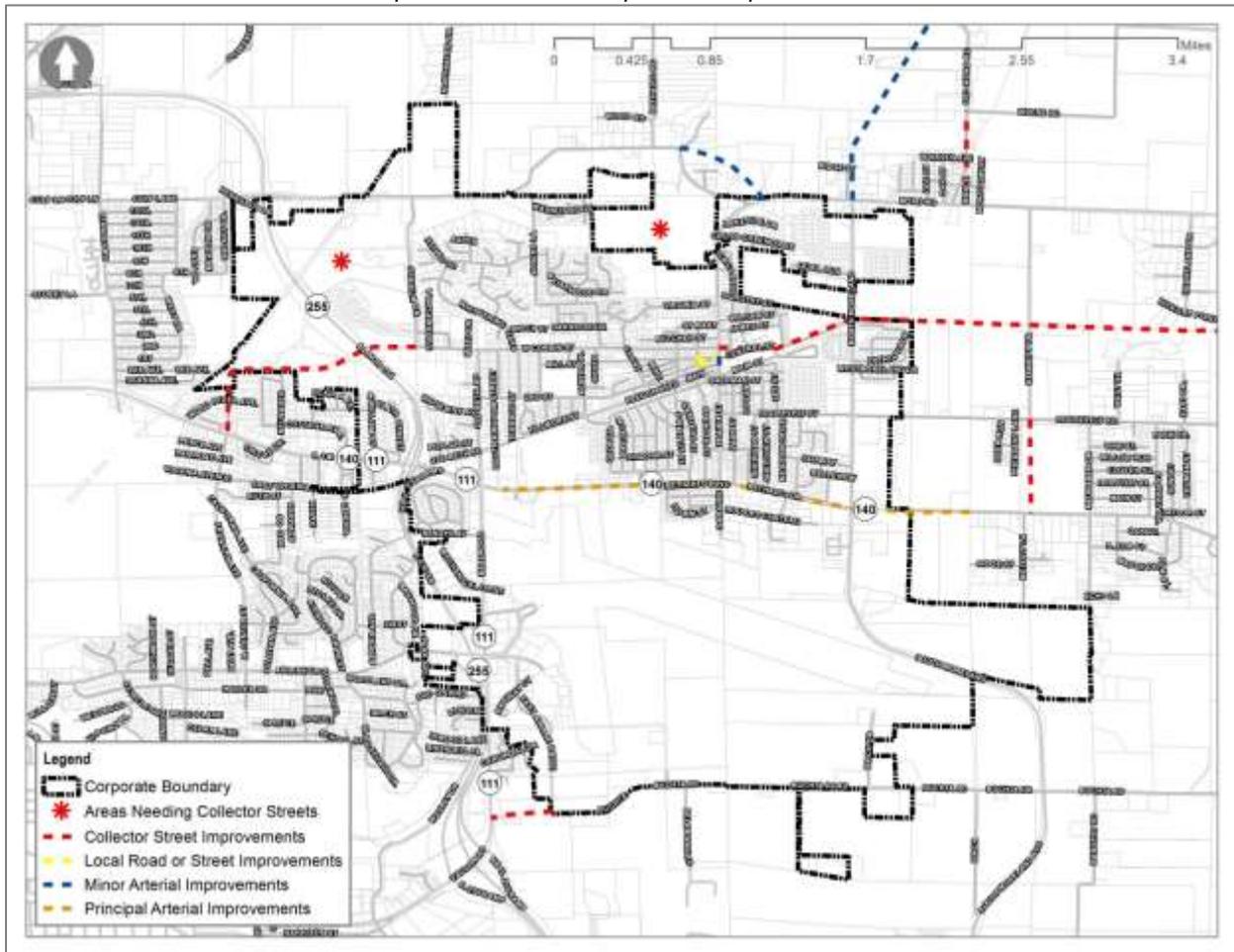


Traffic patterns and AADT counts are a result of adjacent land uses, which are shown in Map 2.5-3. IL-140 is the primary road serving the central portion of the Village, connecting both IL-255 and IL-111 to the interior street network. Erwin Plegge Boulevard and Prairie Street both serve as major collector streets providing access to the interior parcels in the northern portion of the Village, and as such have relatively high AADT counts.

Map 2.5-3: Street Type and Land Use



Map 2.5-4: Future Transportation Improvements



Map 2.5-4 shows planned transportation improvements in and around the Village. The following is a brief description of each of the improvements:

### **State Route 140**

State Route 140 needs to be widened to a four-lane divided facility from State Route 111 to approximately one-half mile east of Moreland Road. This improvement should include a center island except in areas where there is a large number of commercial driveways (west of Prairie) where the center island should be replaced by a continuous left turn lane.

### **West Corbin**

In order to serve the western portion of the Village, the extension of West Corbin to State Route 140 is planned. This improvement would entail a western extension of Corbin approximately parallel with State Route 140 with a gradual curve to the south to align with Franklin Street. This would provide another connection with State Route 140 in the western part of the Village.

### **East Corbin**

The extension of Corbin east of Prairie Street is planned to provide a collector street on the east side of the Village. This project would require right-of-way acquisition and new road construction to extend Corbin to Moreland Road. The alignment would be north of the elementary school. In

addition, Corbin would be extended east of Moreland Road as a two-lane roadway. This extension should be constructed by developers as land is converted to urban use.

#### **Moreland Road North**

The northern extension of Moreland Road to connect with Old Moro Road is planned. This extension should be designed as a two-lane roadway with wide shoulders.

#### **Culp Lane Realignment**

This project entails realigning a section of Culp Lane to eliminate significant curves. A complete straightening of Culp Lane is not recommended due to the significant floodplain located on the south side of the road. This realignment would provide for an improved T-intersection with Moro Road/Prairie Street and eliminate several curves.

#### **Buchta Road Extension**

The extension of Buchta Road from its terminus at East Airline Drive westward to State Route 111 is planned. This two-lane extension will provide an alternative route to the business uses adjacent to the airport.

#### **Maple Street/Old Moro Road Realignment**

This realignment would eliminate the 90-degree angle connection between the two roads and provide a T-intersection with the extension of Moreland Road to Old Moro Road.

#### **Kennedy Drive/Melody Road Connector**

This roadway will be a two-lane facility connecting the southern terminus of Kennedy Drive (at Roosevelt) with the northern terminus of Melody Road (at State Route 140). This roadway should be constructed by developers as land is converted to urban use.

#### **Downtown Circulation**

To improve circulation in the downtown area, the intersection of Prairie Street, Mill Street and Central should be closed. Prairie Street should continue to function, but Mill Street and Central would be closed immediately east and west of the existing intersection with Prairie and developed as parking areas. Central and Mill Streets would be converted into a one-way loop street in the block west of Prairie. The major intersection in this area would be shifted north to the proposed intersection of Prairie Street and Corbin (see description of East Corbin improvement above).

#### **Additional Collector Streets**

In addition to the collector streets described in this section and shown on Map 2.5-4, two areas of additional collector streets may be needed to accommodate future development. These two collector streets are referenced by asterisks on the Future Transportation Improvements Map.

## **2.6: Local Economy and Jobs**

### **Income**

Bethalto follows similar income trends as the County and the State. The most prevalent income bracket in the Village is households that earn between \$50,000 and \$74,999. The least common income bracket for households in the Village is the \$200,000 or more, bracket.

The median household income for Bethalto is slightly higher than that of Madison County, but very near the same to that of the State.

Figure 2.6-1: 2011 Household Income (Inflation Adjusted) by Percentage of Total Households

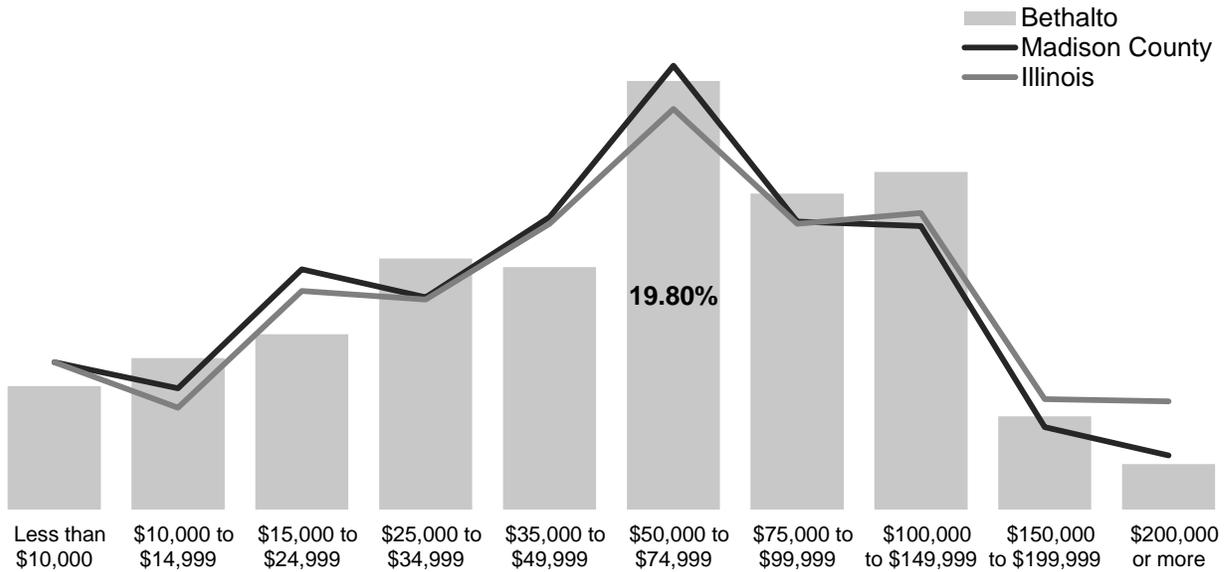


Figure 2.6-2: Median and Mean Household Income

	Bethalto	Madison County	Illinois
Median Household Income	\$55,915	\$53,143	\$56,576
Mean Household Income	\$65,656	\$66,567	\$76,733

### Labor Force Participation

Labor force participation is the number of individuals who are working age and are participating in the labor force. This includes both those who are employed and those who are unemployed but looking for jobs.

When comparing Bethalto’s labor force characteristics with the region and the state it can be seen that they share many similar qualities. One of the more notable figures is that of the unemployed civilian labor force (highlighted in the chart below). Bethalto has an unemployment rate (7.2%) which is actually lower than both Madison County (8%) and the State of Illinois (8.7%). A low rate of unemployment is a sign of a prospering economy within the community and is a key aspect to the development and well-being of a place and its residents.

Figure 2.6-3: Employment Status

EMPLOYMENT STATUS	Bethalto		Madison County		Illinois	
	Number	%	Number	%	Number	%
Population 16 years and over	7,320		214,457		10,029,404	
In labor force	4,806	65.7%	137,294	64.0%	6,688,329	66.7%
Civilian labor force	4,806	65.7%	136,873	63.8%	6,666,498	66.5%
Employed	4,458	60.9%	125,974	58.7%	6,043,771	60.3%
Unemployed	348	4.8%	10,899	5.1%	622,727	6.2%
Not in Labor Force	2,514	34.3%	77,163	36.0%	3,341,075	33.3%

Figure 2.6-4: Civilian Labor Force Employment Rate

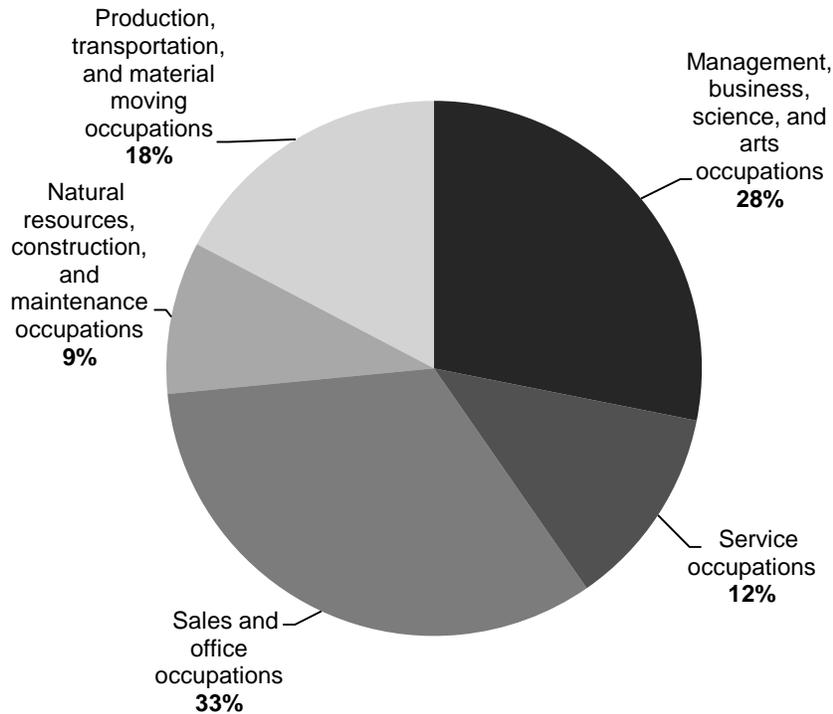
	Bethalto	Madison County	Illinois
Employed	92.8%	92.0%	91.3%
Unemployed	7.2%	8.0%	8.7%

### Occupation and Industry

About 1/3 of Bethalto’s workforce is in the sector of ‘sales and office occupations’. The second most populated occupation sector for residents of the Village is ‘management, business, science, and art occupations’, which makes up 28% of the employed labor force. The least common occupation was that of ‘natural resources, construction, and maintenance occupations’, at 9%.

The average travel time to work for members of the civilian labor force in the Village is 25.3 minutes. This can be interpreted to mean that many residents work outside of the Village. 92.2% of these individuals drive to work alone in their own vehicle, while the remaining either carpool, take public transportation, walk, or work from home.

Figure 2.6-5: Occupation



### Jobs by Industry

When looking at the jobs by the industry in which they are in, it can be seen that 19.2% of residents are actually in the industry of “educational services, and healthcare and social assistance”, which makes it the most populated industry for the Village. Manufacturing is the second most common at 15.3%, while retail trade is a close third at 13.6%.

Madison County's top 3 largest industries are the same as Bethalto's, with educational/healthcare/social services, manufacturing, and retail trade ranking 1, 2, and 3, respectively.

Figure 2.6-6: Village of Bethalto Jobs by Industry

INDUSTRY	Number	Percent	Rank
Agriculture, forestry, fishing and hunting, and mining	71	1.6%	13
Construction	277	6.2%	7
Manufacturing	680	15.3%	2
Wholesale trade	92	2.1%	12
Retail trade	608	13.6%	3
Transportation and warehousing, and utilities	186	4.2%	9
Information	102	2.3%	11
Finance and insurance, and real estate and rental and leasing	385	8.6%	5
Professional, scientific, and management, and administrative and waste management services	467	10.5%	4
Educational services, and health care and social assistance	854	19.2%	1
Arts, entertainment, and recreation, and accommodation and food services	360	8.1%	6
Other services, except public administration	195	4.4%	8
Public administration	181	4.1%	10

### Class of Worker

A vast majority of workers are private wage and salary workers, but close to 10% are still considered government workers. Fewer than 3% of workers in the Village are self-employed in an unincorporated business. These statistics are similar to other places in the region and Madison County as a whole.

Figure 2.6-7: Class of Worker

CLASS OF WORKER	Number	Percent
Private wage and salary workers	3,864	86.7%
Government workers	464	10.4%
Self-employed in own not incorporated business workers	130	2.9%

### Bethalto TIF District

Tax Increment Financing (T.I.F.) is an instrument created by the State of Illinois to promote the economic development or redevelopment of high priority areas within a community, which meet specific State designated criteria. T.I.F.s are financed through a portion of property tax in the given district, dedicated to pay for redevelopment activities through:

- Financing of public improvements, and
- Providing economic incentives to businesses that will undertake improvements to parcels of land in the district.

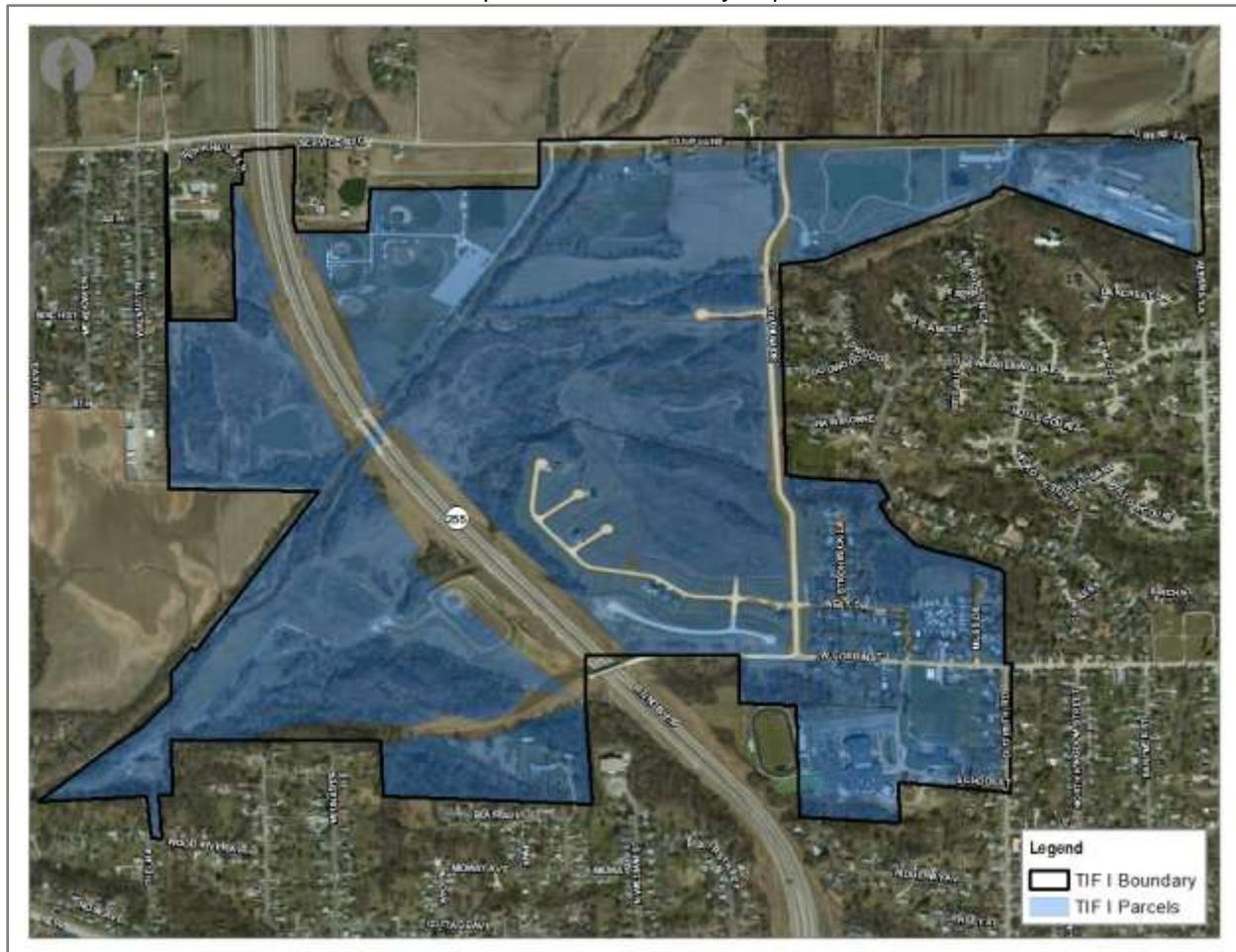
In the creation of this district, the Village of Bethalto's objectives included:

- Strengthening of the community's tax base
- Upgrading of the appearance of the Village
- Creating infill development/redevelopment in vacant and underutilized properties
- Improving transportation for property access and through traffic
- Improving aesthetics in the district

Established on 9/5/2000, the Village of Bethalto's TIF district expires at the end of its 23 year life. (9/5/2023)

In a T.I.F. district, incremental property tax, that is tax above a designated threshold, goes entirely to the municipality. This increment is dedicated to the payment of redevelopment costs. In short, anticipated increase in real estate tax revenues from property development and improvement are used to finance the improvements themselves. At the end of the T.I.F. district 23 year life, all real estate tax revenues, including increments generated, are again shared proportionately by the taxing bodies based on their individual tax rates.

Map 2.6-1: TIF I Boundary Map



### Enterprise Zone

The Riverbend Enterprise Zone offers outstanding investment opportunities for companies seeking a full range of location or expansion incentives. Start-up costs and long-term operating costs can be significantly reduced through a combination of state and local tax incentives, low-cost financing, and employee training programs. It is simple to take advantage of zone incentives and a network of development professionals stand ready to assist. The communities of Alton, Bethalto, East Alton, Hartford, Roxana, South Roxana and Wood River invite you to seize the opportunity offered by the River Bend Enterprise Zone.

- Property tax abatement on increased assessed valuation due to new construction or renovation for four years
- 6.60+% sales tax exemption on building materials
- 1% investment tax credits on machinery, equipment and buildings
- 0.5% investment tax credit for firms that increase their employment in Illinois by 1%
- \$500 jobs tax credit for each eligible new employee (minimum five eligible new hires in one year)
- Deductions from state income tax on dividends paid by corporations doing substantial business within the zone
- Low interest business financing program
- Employment training assistance programs

Map 2.6-2: Riverbend Enterprise Zone Area



## Section 2.7: Public Infrastructure and Services

### Water System

The Village provides water service to Village residents. The Village wells and water treatment plant have a maximum pumping capacity and treatment capacity of 3.0 million gallons of water

per day (MGD). The average daily demand for water is 1.6 MGD and the peak daily demand is 2.3 MGD.

The Village also sells finished water to Moro and Meadowbrook based on intergovernmental agreements, and serves the Rosewood Heights and Cottage Hills areas which are not located within the Village's corporation limits.

Bethalto's water source is a well field located in Wood River north of Illinois Route 143. This area lies over the old Mississippi river bed, commonly called the American Bottoms. The American Bottoms is a relatively flat plain that runs from the Mississippi River to the base of the high ground where the Village of Bethalto lies. The Village pumps more than 500 million gallons of groundwater a year from seven shallow wells that reach down to unconfined sand and gravel which make up the underground water aquifer. Approximately ten inches (or 26 percent) of the annual rainfall in Bethalto percolates through the soil and recharges this aquifer. As the water passes through the soil to the aquifer the potential for contamination is great.

Bethalto has developed a comprehensive groundwater protection management plan and has worked with neighboring communities on groundwater protection ordinance to protect the Village's aquifer recharge area (the area in the American Bottoms from which the Village's wells extract water.) The Village has also established a 1,000-foot setback zone around the community water supply (CWS) wells. This setback allows Bethalto to regulate certain types of new land uses within this zone. Landfills, sewage lift stations, electrical substations, dry cleaners, petroleum pipelines, retention basins and roads are all land uses that could contaminate groundwater supplies. The location of existing land uses that fit these categories have been identified by Village staff.

### **Water Treatment Plant**

A new \$4.7M water treatment plant project has recently been completed. The project called for abandonment of the existing 53-year-old plant and consisted of: two new aerators, three new softeners, a 250,000-gallon reaction basin (which replaced the old 40,000-gallon unit), four 10-inch-diameter filters, a half-million-gallon clear well (which replaced the old 300,000-gallon component), and a high-service pump station. The existing power and control systems were rehabilitated and emergency generators were also constructed. After some slight rehabilitation, Plant #2 remained intact. The plant is capable of serving almost 24,000 people.

### **Water Distribution System**

The Village is served by waterlines made of PVC, cast iron and ductile iron. They range in age from being built in the 1940's to new lines replaced and installed in 2013. The older lines are typically cast iron and give the Village the most problems with frequent breaks and failures. It is estimated that about 10% of the water lines are of this material. Also there are approximately 59,658 feet of 2 inch diameter water mains in the system that need replaced because they are inadequate for fire protection and no longer meet state requirements for pipe sizing. Most of these lines were installed in the 1940's and are in need of replacement.

A new valve and water main replacement program is underway. Additionally, the Village is updating their water meter reading system to include more radio reads.

Figure 2.7-1: Waterline Lengths by Pipe Size

Pipe Size	Waterline Length Linear Feet	Hydrants Total
2'	59,658	12%
4"	83,537	17%
6"	216,614	44%
8"	80,902	16%
12"	51,749	10%
18"	2,672	1%
<b>Totals</b>	495,132	100%

### Water Tower

The Village maintains a 500,000 gallon elevated tower which was constructed in 1992. This was inspected and painted in 2010 and the Tower is considered in good condition. The only exception is the need to replace or repair a variety of valves that enter the tower structure.

The Village also has a 250,000 gallon Mine Street elevated tank. This tank was built in 1954 and has undergone a series of updates with the most recent update being a new concrete support upgrade in 2012.

Lastly, the Village maintains a 1.5M gallon ground storage tank. This tank was constructed in 1966 and was repaired, painted and upgraded in 2012.

### Wastewater Service/Stormwater Management

Wastewater in Bethalto is collected by Village sewer mains and transferred to a regional wastewater treatment plant in Alton, under an intergovernmental agreement with the City of Alton. This has proven to be the most cost-effective treatment plan. The Village has prepared a master plan to provide wastewater service to areas that may be annexed in the future.

The sanitary and storm sewers are a separated system, which is typically more desirable than a combination system. The age of the sewer system ranges from 1930 to 2013, with the make of these lines varying. Clay, PVC and ductile iron serve the sanitary system, with concrete clay, PVC and HDPE making up the storm sewers.

There are major concerns involving infiltration during heavy rains. The majority (75%) of the sanitary sewer lines are clay pipe that were built from 1930 to 1979. Replacing the oldest mains would greatly help the infiltration issue. There are issues with some lift stations that appear when power outages occur during severe storms. This then compounds with the infiltration problem.

In general, the biggest problems with stormwater management are drainage issues stemming from the fact that the overall area is flat.

### Bethalto Swimming Pool

The Town & Country Swimming Pool is located at 325 E. Central Street, opening the season during Memorial Day weekend and closing in late August. Swimming lessons are available during morning hours and the pool can be rented after closing for private parties.

### **Bethalto Museum**

The Bethalto Museum located at 124 W. Main Street served as the Village Hall until a new hall was built. In 1987, it was placed on the National Register of Historic Places. After several years of renovation, it became Bethalto's Museum.

### **Senior Citizen Center**

One of the area's finest Senior Centers is located at 100 East Central Street. Senior citizens have a handicapped accessible van at their disposal for doctor appointments, hair appointments and other daily routines. Various groups meet at the center and numerous events are held weekly.

### **Bethalto Public Library District**

The Bethalto Public Library District serves an area covering portions of Bethalto, Meadowbrook, Moro, Cottage Hills, Dorsey and Midway and is a member of the Illinois Heartland Library System, providing patrons access to the library materials of 134 school and public libraries in the surrounding area. The Library is open 7 days a week and is located at 321 South Prairie Street.

### **Utilities**

Gas & Electric provided by Ameren IP.

A small portion of the Village receives electric service by Southwestern Electric Cooperative.

Landline telephone service is predominantly provided by AT&T.

Cellular telephone coverage is provided by most major cellular service providers.

Cable Television is provided by Charter Communications.

### **Code Enforcement**

The Village of Bethalto has developed a proactive approach to resolving code violations. This action is in response to the small percentage of residents who show a lack of regard for their neighbors by creating nuisances that detract from the appearance of neighborhoods, endanger the health and safety of fellow residents, disturb the peace, and generally degrade the quality of life for those living around them. It is the goal of Code Enforcement to bring all of these locations and uses into compliance with local codes for the purposes of enhancing life and property values of our citizens.

The Village has historically updated its building code standards. However, as standards change and additional issues arise, it is imperative that the Village review its ordinances to efficiently and effectively deal with code violations.

### **Village Revenues**

The Village continues to generate increases in revenue. Figure 2.7:-2 shows the 2011 and 2012 Annual Financial Report summary.

Figure 2.7-2: 2011 and 2012 Annual Financial Report Review

Code	General	Special Revenue	Capital Project	Debt Service	Enterprise	Internal Service	Fiduciary	Discretely Presented Component Units
2011	\$3,776,780	\$1,371,007	\$0	\$0	\$4,040,228	\$0	\$675,236	\$0
2012	\$3,832,170	\$1,503,852	\$0	\$0	\$4,310,335	\$0	\$434,380	\$0
<b>Difference</b>	<b>\$55,390</b>	<b>\$132,845</b>	<b>\$0</b>	<b>\$0</b>	<b>\$270,107</b>	<b>\$0</b>	<b>-\$240,856</b>	<b>\$0</b>

General Revenues showed an increase of \$55,390; however most of this increase is attributable to State sources of money. It is unclear why this revenue stream increased as much. While property tax collections have increased from \$1,650,060 to \$1,695,259, the Equalized Assessed Value (EAV) for the Village has actually decreased from \$143,625,340 to \$140,034,660. State Sales Tax collection has also decreased slightly between Fiscal Years 2011 and 2012 from \$845,158 to \$826,007. Both property tax and sales tax fund many of the day to day functions of the Village, and thus should be monitored. Trends in EAV and sales tax are common for the area, although the Village has not seen a decline as large as some of the neighboring communities. In terms of the Enterprise Fund controlled by the Village, revenues have increased by \$270,000, which helps to fund water and sewer services for the Village.

Figure 2.7-3: Village Employment 2011 and 2012

Village Employment	FY 2011	FY 2012
Total Full Time Employment	53	60
Total Part-Time Employment	9	11

## Chapter 2.8: Parks and Recreation

A Park Master Plan was created for the Village in the year 2010. This Plan was intended to guide the development of future parks facilities, particularly Culp Lane Park. In the preparation of the plan, three public workshops were held to ensure that the planning would involve Village residents and ensure the appropriate facilities were considered.

### Culp Lane Park (Renamed Steve Bryant Park in 2013)

Culp Lane Park is a large park on the northwest end of the Village that was established in 2005. The park features a lake, a children's play area, and a new arboretum.

### Bethalto Sports Complex

The Bethalto Sports Complex was completed in 2006. The sports complex consists of two baseball fields, two softball fields, two soccer fields, a grandstand, and a concession stand.

### Bethalto Sports Complex Phase II

The second phase of the aforementioned Bethalto Sports Complex.

### Central Park

Central Park contains lighted tennis courts, baseball fields, softball fields, t-ball fields, soccer fields, picnic facilities, a skate park and the municipal swimming pool. The park is adjacent to Village Hall.

**Bethalto Arboretum**

The Arboretum is adjacent to Central Park. The arboretum is 2.5 acres, and was conceived by former Mayor Plegge in the 1960s. The project began with a donation of six trees by a local nursery, and a promise of five trees from the Governor of Alaska and four of its mayors. Officially dedicated on October 15, 1966, the arboretum now features over 150 species of trees and other plant life.

**Southeast Park**

Southeast Park, also known as the Khory League Diamonds, is located in the southeast portion of the Village in the Chateaux residential area. The complex consists of four lighted diamonds with a concession stand in the center. The fields are primarily set up for the Boys & Girls Clubs of America youth baseball and softball games, but are also home to a number of private and select baseball teams during the summer.

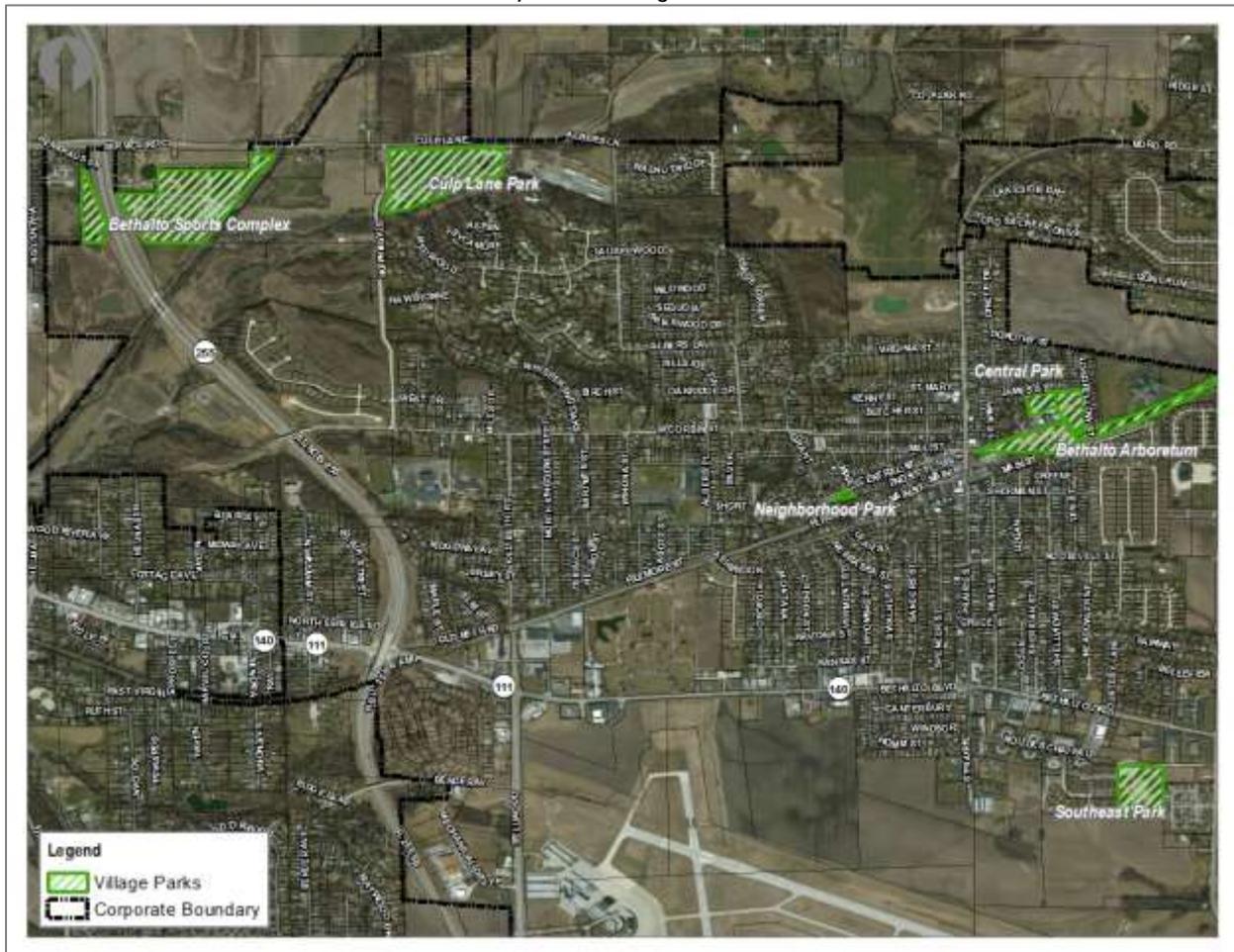
**West End Park (Klopmeier Park)**

West End Park is at the intersection of the Bethalto Expressway and Illinois Route 140, near the westernmost portion of the old railroad right-of-way acquired by the Village.

**Neighborhood Park**

Neighborhood Park is a small neighborhood park located at the intersection of Second Street and Grant Street.

Map 2.8-1: Village Parks



Further information regarding parks in the Village can be seen in Appendix X: Park Master Plan.

## Section 2.9: Public Safety and Emergency Services

### Fire Protection

The Village provides assistance to the Bethalto Community Volunteer Fire Department, helping cover operational expenses. Bethalto Fire Department has a staff of up to 35 dedicated volunteers who provide Fire, EMS, and Rescue services 24 hours a day, 365 days a year. The current roster includes only 20 volunteers. The volunteer fire department relies heavily on local monies with occasional assistance from state and federal grants for capital purchases.

The Department is operated by a Chief, Deputy Chief and five Captains. The current Fire Chief is Rich Mersinger, and the fire station is located at 213 N. Prairie Street.

Membership Information:

- The department currently has 20 members.

- The average membership over the previous five years is 18, with a 35 being the maximum allowed by Village ordinance.
- The average age of the department membership is 24 years old.
- On average, a firefighter on the department responds to 200 calls a year, participates in 52 nights of training, 20 special events, and 24 nights of “on call” duty.
- 80% of the firefighters on the department are certified Emergency Medical Technicians – (Basics)
- 5% of the firefighters on the department are certified Emergency Medical Technicians – (Paramedics)
- 15% of the firefighters on the department are certified First Responders.
- 50% of the department is certified as State Firefighters
- 1% of the department that is certified as Advanced State Firefighters
- 1% of the department holds a fire officer certification

ISO collects information on municipal fire-protection efforts in communities throughout the United States. In each of those communities, ISO analyzes the relevant data using a Fire Suppression Rating Schedule (FSRS). ISO then assigns a Public Protection Classification from 1 to 10. Class 1 generally represents superior property fire protection, and Class 10 indicates that the area's fire-suppression program doesn't meet ISO's minimum criteria.

By classifying communities' ability to suppress fires, ISO helps the communities evaluate their public fire-protection services. The program provides an objective, countrywide standard that helps fire departments in planning and budgeting for facilities, equipment, and training. By securing lower fire insurance premiums for communities with better public protection, the PPC program provides incentives and rewards for communities that choose to improve their firefighting services. The current Bethalto Fire Department carries an ISO rating of 5 out of 10 which is better than most fire departments in the metro east.

The department has likely maxed out at its current rating and as it stands today is likely to be downgraded as a result of having such a high call volume for a volunteer fire department (noted below). Additional concerns with ISO are the need for an aerial device and an additional Fire Station on the west side of the Village.

The department is involved in automatic mutual aid with Rosewood Heights and Holiday Shores, and on certain occasions Bunker Hill. The Department also covers portions of Moro Township by agreement.

#### Average Calls:

- 2008 approximate calls: 500
- 2012 approximate calls: 1,000
- Madison County rank (calls) for Volunteer Department: #1
- Most Volunteer Departments average 200-250 calls per year

The Village has seen a dramatic rise in the amount of calls since 2005. This has put a large strain on the volunteer base. The Village is currently operating with significantly less volunteer firefighters while the amount of calls continues to increase. The average volunteer serves five years. Membership recruitment and retention continues to be a concern, and is in need of being

addressed as calls continue to rise. In the near future there may be a need for additional full-time firefighters.

### **Fire Apparatus**

Engine 2212 – 2009 E1 Tradition Rescue Pumper

This is the Village's newest and most sophisticated equipment. Current life span is 30 years

Engine 2211 – 2005 E1

This is a two seat engine. The engine lacks sufficient capacity to carry the necessary equipment and personnel to effectively respond to an emergency. The current life span is 15 years.

Engine 2210 – 1995 E1 Ford

This is the Village's oldest engine. This engine lacks the capacity to carry the necessary equipment and personnel to effectively respond to an emergency. This engine is the next one to be replaced. We anticipate its life expectancy to be 5-8 years.

Rescue 2251 – 1985 Ford 9000

This is the department's only remaining heavy rescue apparatus. It serves little to no use to the department other than to supplement engine 2210 and 2211, since this apparatus will carry 8 firefighters to the scene. We look to phase this vehicle out and have a rescue pumper in its place.

Utility 2290 – 2000 Chevy Silverado

This vehicle is used as a command vehicle and support vehicle to carry additional personnel and equipment to the scene. The vehicle lacks sufficient room to carry firefighters.

Utility 2291 - 2005 Ford F-150

This is used as a command vehicle by the chief and or other command staff.

### **Police Protection**

The Bethalto Police Department is located next to Village Hall at 213 N. Prairie St. in Bethalto, Illinois. The Department consists of 13 full-time officers, one part-time officer, one Animal Control Warden, four Telecommunicators, and one Administrative Secretary. Officer assignments are Patrol, Investigations, School Resource Officer, D.A.R.E. Officer, and Narcotics Investigator. They also sponsor a Law Enforcement Explorer Post. The Village is a member of the St. Louis Metropolitan Major Case Squad, FBI Child Exploitation Task Force, Illinois Internet Crimes Against Children Task Force, and Southern Illinois Child Death Investigation Task Force.

Bethalto, Illinois is an extremely safe place to live and operate a business. In fact, it has one of the lowest crime rates in the Metro East.

Figure 2.9-1: Regional Crime Rates\*

City	Crime Rate
Bethalto	41.1
Wood River	303.1
East Alton	385.1
Roxana	184.6
South Roxana	348.5
Hartford	224.8
Alton	426.7
Edwardsville	89.4
Godfrey	129.1

\*(Note: Higher means more crime)

- Bethalto is safer than 82.8% of the cities in the nation.
- The crime rate in Bethalto is less than 83% of the cities in Illinois.
- The chance of being a victim of a crime in Bethalto is 1 in 503.
- The chance of being a victim of a violent crime in Bethalto is 1 in 1,365.
- The chance of being a victim of a property crime in Bethalto is 1 in 796.

The BPD attributes the low crime rates in the Village to the relationships they have with the citizens, the ability to utilize their investigators efficiently, and overall influence and pride in the community.

The Police station is 16 years old as of 2013 and is planned to be functional into the foreseeable future. There are no major issues besides the normal wear and tear a building of this age should expect to occur. The Police station has 4 jail cells which can hold a total of 8 prisoners. The BPD handles animal control cases and also has mutual aid agreements with the surrounding communities to provide assistance when requested.

As is normal for a growing community, the BPD has concerns over the ability to properly staff the department as the Village continues to grow. Increasing populations and growing village limits would put increased strain on officers and in order to remain effective the department would need to grow in proportion with the Village, just as all community services would.

Future concerns of the Bethalto Police department revolve around issues about staffing and equipment. The BPD has lost 5 officers and 2 support personnel in the past 6 years to attrition. They currently have minimum staffing, meaning that any officers who become sick or use vacation time must have their assignments filled by someone else with overtime. The long range plan is to increase from 2 officer patrols to 3 officer patrols to maintain efficient coverage and service to the community. They would also like to add a School Resource Officer to the middle school. Sufficient support staff will also be required to accomplish these goals.

Within the next several years the department would like to see several equipment based improvements. Finger printing upgrades from the current ink based system to the digital based life-scan finger printing system as well as leasing or buying 2 new patrol cars within the next several years are part of the department's goals in this area.

## **Hospitals & Medical Centers**

- Alton Memorial Hospital (Acute Care Hospitals, Voluntary non-profit - Private, provides emergency services, about 5 miles away; Alton, IL)
- Saint Anthony's Health Center (Acute Care Hospitals, Voluntary non-profit - Church, provides emergency services, about 5 miles away; Alton, IL)
- Gateway Regional Medical Center (Acute Care Hospitals, Proprietary, provides emergency services, about 14 miles away; Granite City, IL)
- Bethalto Health Center (Family Medicine, Dental Care, Behavioral Health, Gynecology, Obstetrics, Pediatrics; Bethalto, IL)

## **Section 2.10: Education**

### **K-12 Education**

Bethalto Unit Schools are the largest employer in Bethalto and have the greatest impact in terms of land area and government spending. The school district, Bethalto Unit School District 8 (BCUSD8), is made up of two intermediate schools, two primary schools, one middle school, one high school, a special needs school, an administration building, and an industrial complex.

The lists of schools are as follows:

- Bethalto Community Unit School District 8
- Civic Memorial High School
- Trimpe Middle School
- Bethalto East Primary School
- Parkside Primary School
- Bethalto West Intermediate School
- Meadowbrook Intermediate School

Two private schools serving kindergarten through eighth grade are also in Bethalto:

- Our Lady Queen of Peace Catholic School
- Zion Lutheran School

### **Higher Education**

No colleges or universities exist within Bethalto's corporate limits, but there are various nearby institutions that serve the Village's residents. The closest 4-year college is Southern Illinois University in Edwardsville and the nearest 2-year college is Lewis and Clark Community College in Godfrey, IL.

### **School Enrollment**

Population 3 years and over enrolled in school (2,763)

### **2011 ACS Estimates**

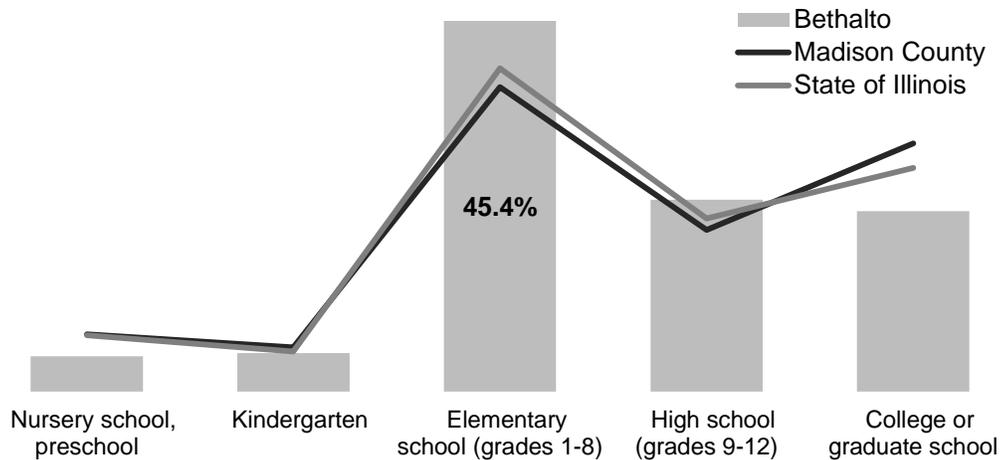
Looking at the levels of enrollment of various stages of education can help to get an idea of where residents of the Village are in terms of the stage of schooling. This can also assist in determining the future needs and expectations for students beginning, continuing, and finishing their academic careers.

As is shown in the chart below, a majority of the students in Bethalto (about 45%) are currently in elementary school. About 24% are in high school and around 22% are in college or graduate

school. Kindergarten and preschool student comprise less than 5% of the student population each.

In comparison to Madison County and the State, Bethalto has similar student composition. Notable differences include higher portions of the Villages students in elementary and High school and less in college or graduate school. This can signify that Bethalto’s student population is slightly younger than the region.

Figure 2.10-1: School Enrollment



Bethalto CUSD #8 has lost 223 students since 2003.

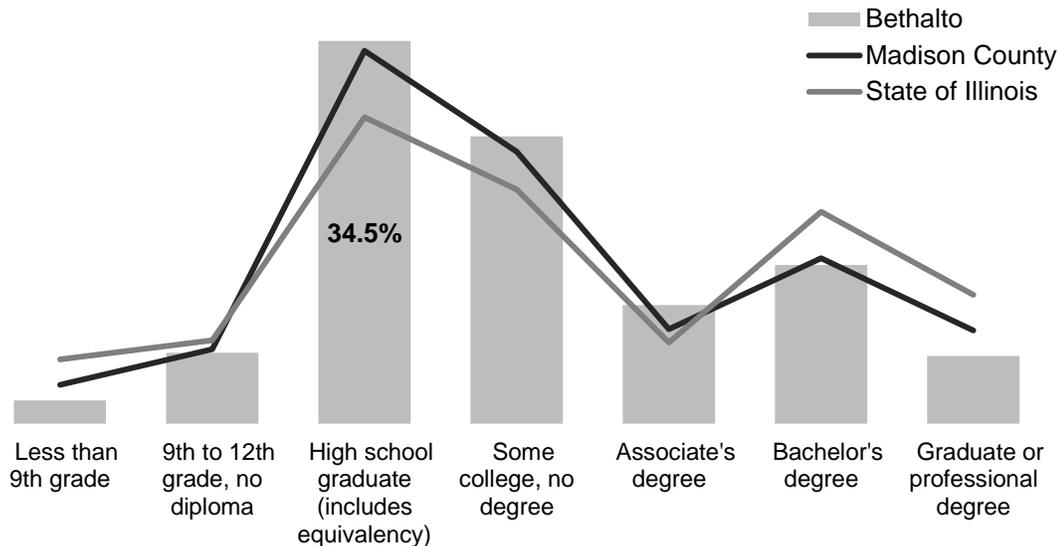
### Educational Attainment

#### 2011 ACS Estimates

For Population 25 years and older (6,276)

Educational attainment is closely tied to the economic characteristics of an area and can be used to build both a demographic picture of the region, as well as support other demographic and socioeconomic trends. From the chart below we can see that Bethalto is lagging slightly behind in terms of residents with bachelors and graduate or professional degrees. Bethalto more closely follows the same pattern of attainment as Madison County, but is still slightly behind the attainment levels of the State.

Figure 2.10-2: Educational Attainment



## 2.11: Retail and Commerce

Bethalto is a much underserved community in terms of available retail opportunities. It is reported that retail sales in Bethalto are about \$81.8 million, while the demand (consumer expenditures) are over \$160.7 million. This means that there is a total opportunity gap of over \$78.8 million that is being lost to outside communities and retailers. A significant majority of retail categories in Bethalto have an opportunity gap, meaning that members of the community are spending far more money outside of the Village than they are within the Village, creating gaps between consumer supply and demand.

When looking more generally at merchandise lines, the largest opportunity gaps are for:

- Drugs, health aids, and beauty aids (\$13.11M)
- Cars, trucks, and other powered transportation (\$9.88M)
- Automotive fuels (\$7.88M)
- Meals and snacks (\$7.88M)
- Women's, junior's and misses' wear (\$5.59M)

In terms of retail stores, some of the largest opportunity gaps include:

- General merchandise stores (\$17.94M)
- Non-store retailers (electronic and mail order shopping) (3.03M)
- Gasoline Stations (\$11.78M)
- Motor vehicle and parts dealers (\$10.08M)
- Food service and drinking places (\$9.92M)
- Health and personal care stores (\$8.56M)

Although the majority of all categories have opportunity gaps, there are several instances where a surplus has been found to exist. The following merchandise lines are the top three reported to currently have a surplus of supply over demand:

- Groceries and other foods (1.50M)
- RVs, campers, camping & travel trailers (\$405K)
- Kitchenware and home furnishings (\$261K)

The main point that can be derived from these types of reports is that Bethalto would benefit from new retail establishments. Namely, drug stores, car dealers, gas stations, restaurants, and clothing stores. Grocery stores are seemingly having the only significant issue with surplus, so it could be considered a business which currently doesn't need new retailers.

The exhibits on the following pages further details Retail Market Power (RMP) Opportunity Gaps for the Village.

Figure 2.11-1: Retail Market Power Opportunity Gap – Merchandise Lines

Merchandise Lines	2013 Demand (Consumer Expenditures)	2013 Supply (Retail Sales)	Opportunity Gap/Surplus
Total Retail Sales Incl Eating and Drinking Places	160,720,552	81,858,388	78,862,164
Groceries and Other Foods	28,002,017	29,503,934	(1,501,917)
Meals and Snacks	14,147,930	6,260,569	7,887,361
Alcoholic Drinks	617,906	236,551	381,355
Packaged Liquor/Wine/Beer	4,440,698	2,657,437	1,783,261
Cigars, Cigarettes, Tobacco, Accessories	5,873,008	2,231,392	3,641,616
Drugs, Health Aids and Beauty Aids	16,931,958	3,814,530	13,117,428
Soaps, Detergents and Household Cleaners	411,501	211,702	199,799
Paper and Related Products	1,527,662	1,075,922	451,740
Men's Wear	3,878,268	457,563	3,420,705
Women's, Juniors' and Misses' Wear	5,888,110	295,510	5,592,600
Children's Wear	2,733,203	196,382	2,536,821
Footwear	2,264,673	249,394	2,015,279
Sewing, Knitting and Needlework Goods	278,504	65,245	213,259
Curtains, Draperies, Blinds, Slipcovers Etc	1,947,311	906,189	1,041,122
Major Household Appliances	1,139,882	775,147	364,735
Small Electric Appliances	288,843	226,155	62,688
Televisions, Video Recorders, Video Cameras	1,306,953	374,166	932,787
Audio Equipment, Musical Instruments	1,539,183	269,952	1,269,231
Furniture and Sleep Equipment	3,024,468	981,800	2,042,668
Flooring and Floor Coverings	737,964	795,439	(57,475)
Computer Hardware, Software and Supplies	3,190,998	253,657	2,937,341
Kitchenware and Home Furnishings	2,014,621	2,276,492	(261,871)
Jewelry	2,397,394	102,519	2,294,875
Books	1,527,917	154,847	1,373,070
Photographic Equipment and Supplies	334,007	63,897	270,110
Toys, Hobby Goods and Games	2,339,073	635,187	1,703,886
Optical Goods	573,020	170,361	402,659
Sporting Goods	1,904,114	1,423,730	480,384
Hardware, Tools, Plumbing, Electrical	1,089,359	1,261,274	(171,915)

Lumber and Building Materials	722,052	846,660	(124,608)
Lawn, Garden, and Farm Equipment & Supplies	2,044,959	838,345	1,206,614
Paint and Sundries	319,554	173,274	146,280
Cars, Trucks, Other Powered Transportation	19,273,857	9,389,351	9,884,506
RVs, Campers, Camping & Travel Trailers	3,563,148	3,968,538	(405,390)
Automotive Fuels	11,144,645	3,264,205	7,880,440
Automotive Lubricants	213,221	127,798	85,423
Pets, Pet Foods and Pet Supplies	1,987,569	483,306	1,504,263
All Other Merchandise	9,101,003	4,839,966	4,261,037

Nielsen' RMP data is derived from two major sources of information. The demand data is derived from the Consumer Expenditure Survey (CE Survey), which is fielded by the U.S. Bureau of Labor Statistics (BLS). The supply data is derived from the Census of Retail Trade (CRT), which is made available by the U.S. Census. Additional data sources are incorporated to create both supply and demand estimates. The difference between demand and supply represents the opportunity gap or surplus available for each merchandise line in the specified reporting geography. When the demand is greater than (less than) the supply, there is an opportunity gap (surplus) for that merchandise line. For example, a positive value signifies an opportunity gap, while a negative value signifies a surplus.

Figure 2.11-2: Retail Market Power Opportunity Gap – Retail Stores

Retail Stores	2013 Demand (Consumer Expenditures)	2013 Supply (Retail Sales)	Opportunity Gap/Surplus
Total Retail Sales Incl Eating and Drinking Places	160,720,552	81,858,388	78,862,164
Motor Vehicle and Parts Dealers-441	25,572,252	15,487,311	10,084,941
Automotive Dealers-4411	18,864,070	7,325,056	11,539,014
Other Motor Vehicle Dealers-4412	4,321,342	7,140,916	-2,819,574
Automotive Parts/Accsrs, Tire Stores-4413	2,386,840	1,021,339	1,365,501
Furniture and Home Furnishings Stores-442	2,992,912	1,486,939	1,505,973
Furniture Stores-4421	1,710,866	166,021	1,544,845
Home Furnishing Stores-4422	1,282,046	1,320,918	-38,872
Electronics and Appliance Stores-443	3,428,520	997,035	2,431,485
Appliances, TVs, Electronics Stores-44311	2,546,193	843,901	1,702,292
Household Appliances Stores-443111	432,812	670,347	-237,535
Radio, Television, Electronics Stores-443112	2,113,381	173,554	1,939,827
Computer and Software Stores-44312	809,505	153,134	656,371
Camera and Photographic Equipment Stores-44313	72,822	0	72,822
Building Material, Garden Equip Stores -444	15,462,216	12,754,757	2,707,459
Building Material and Supply Dealers-4441	13,713,044	12,579,634	1,133,410
Home Centers-44411	5,535,012	0	5,535,012
Paint and Wallpaper Stores-44412	238,366	0	238,366
Hardware Stores-44413	1,400,750	3,495,215	-2,094,465
Other Building Materials Dealers-44419	6,538,916	9,084,419	-2,545,503
Building Materials, Lumberyards-444191	2,663,586	3,552,009	-888,423
Lawn, Garden Equipment, Supplies Stores-4442	1,749,172	175,123	1,574,049
Outdoor Power Equipment Stores-44421	335,994	0	335,994
Nursery and Garden Centers-44422	1,413,178	175,123	1,238,055
Food and Beverage Stores-445	21,137,429	34,069,468	-12,932,039

Grocery Stores-4451	18,272,988	33,670,234	-15,397,246
Supermarkets, Grocery (Ex Conv) Stores-44511	17,304,706	30,339,614	-13,034,908
Convenience Stores-44512	968,282	3,330,620	-2,362,338
Specialty Food Stores-4452	1,497,263	399,234	1,098,029
Beer, Wine and Liquor Stores-4453	1,367,178	0	1,367,178
Health and Personal Care Stores-446	9,788,408	1,227,696	8,560,712
Pharmacies and Drug Stores-44611	7,849,054	937,457	6,911,597
Cosmetics, Beauty Supplies, Perfume Stores-44612	697,831	25,171	672,660
Optical Goods Stores-44613	357,350	142,610	214,740
Other Health and Personal Care Stores-44619	884,173	122,458	761,715
Gasoline Stations-447	16,537,450	4,748,133	11,789,317
Gasoline Stations With Conv Stores-44711	12,257,855	4,748,133	7,509,722
Other Gasoline Stations-44719	4,279,595	0	4,279,595
Clothing and Clothing Accessories Stores-448	7,267,209	93,498	7,173,711
Clothing Stores-4481	5,486,205	93,498	5,392,707
Men's Clothing Stores-44811	316,985	0	316,985
Women's Clothing Stores-44812	1,221,808	0	1,221,808
Childrens, Infants Clothing Stores-44813	342,019	0	342,019
Family Clothing Stores-44814	2,874,795	91,827	2,782,968
Clothing Accessories Stores-44815	230,539	0	230,539
Other Clothing Stores-44819	500,059	1,671	498,388
Shoe Stores-4482	830,382	0	830,382
Jewelry, Luggage, Leather Goods Stores-4483	950,622	0	950,622
Jewelry Stores-44831	883,257	0	883,257
Luggage and Leather Goods Stores-44832	67,365	0	67,365
Sporting Goods, Hobby, Book, Music Stores-451	2,965,973	368,739	2,597,234
Sporting Goods, Hobby, Musical Inst Stores-4511	2,317,494	368,072	1,949,422
Sporting Goods Stores-45111	1,243,456	155,806	1,087,650
Hobby, Toys and Games Stores-45112	663,730	212,266	451,464
Sew/Needlework/Piece Goods Stores-45113	179,644	0	179,644
Musical Instrument and Supplies Stores-45114	230,664	0	230,664
Book, Periodical and Music Stores-4512	648,479	667	647,812
Book Stores and News Dealers-45121	512,463	667	511,796
Book Stores-451211	458,711	667	458,044
News Dealers and Newsstands-451212	53,752	0	53,752
Prerecorded Tapes, CDs, Record Stores-45122	136,016	0	136,016
General Merchandise Stores-452	20,849,555	2,906,551	17,943,004
Department Stores Excl Leased Depts-4521	8,268,602	553,993	7,714,609
Other General Merchandise Stores-4529	12,580,953	2,352,558	10,228,395
Miscellaneous Store Retailers-453	4,892,408	308,866	4,583,542
Florists-4531	206,379	56,424	149,955
Office Supplies, Stationery, Gift Stores-4532	1,423,299	151,034	1,272,265
Office Supplies and Stationery Stores-45321	830,015	18,263	811,752
Gift, Novelty and Souvenir Stores-45322	593,284	132,771	460,513
Used Merchandise Stores-4533	390,882	20,653	370,229
Other Miscellaneous Store Retailers-4539	2,871,848	80,755	2,791,093
Non-Store Retailers-454	12,493,130	0	12,493,130
Foodservice and Drinking Places-722	17,333,090	7,409,395	9,923,695
Full-Service Restaurants-7221	8,026,158	3,592,809	4,433,349
Limited-Service Eating Places-7222	7,090,669	2,976,079	4,114,590

Special Foodservices-7223	1,371,757	758,562	613,195
Drinking Places -Alcoholic Beverages-7224	844,506	81,945	762,561
GAFO *	38,927,468	6,003,796	32,923,672
General Merchandise Stores-452	20,849,555	2,906,551	17,943,004
Clothing and Clothing Accessories Stores-448	7,267,209	93,498	7,173,711
Furniture and Home Furnishings Stores-442	2,992,912	1,486,939	1,505,973
Electronics and Appliance Stores-443	3,428,520	997,035	2,431,485
Sporting Goods, Hobby, Book, Music Stores-451	2,965,973	368,739	2,597,234
Office Supplies, Stationery, Gift Stores-4532	1,423,299	151,034	1,272,265

\* GAFO (General merchandise, Apparel, Furniture and Other) represents sales at stores that sell merchandise normally sold in department stores. This category is not included in Total Retail Sales Including Eating and Drinking Places.

Nielsen' RMP data is derived from two major sources of information. The demand data is derived from the Consumer Expenditure Survey (CE Survey), which is fielded by the U.S. Bureau of Labor Statistics (BLS). The supply data is derived from the Census of Retail Trade (CRT), which is made available by the U.S. Census. Additional data sources are incorporated to create both supply and demand estimates.

The difference between demand and supply represents the opportunity gap or surplus available for each retail outlet in the specified reporting geography. When the demand is greater than (less than) the supply, there is an opportunity gap (surplus) for that retail outlet. For example, a positive value signifies an opportunity gap, while a negative value signifies a surplus.

## Section 2.12: Land Use

Land use planning is the term used for a branch of public policy which encompasses various disciplines which seek to order and regulate the use of land in an efficient and ethical way. The essential function of land use planning is to show how land uses fit together currently and how the land use patterns may/should change in the future.

### Land Use Classifications:

#### Residential

The residential land use classification can be defined as all real property used or held for human habitation containing one or more dwelling units including rooming houses with facilities assigned and used for living. Additionally, the designation includes accessory land, buildings or improvements incidental to such habitation and used exclusively by the residents of the property or their guests. Incidental accessory land, buildings or improvements would include garages, sheds, in-ground swimming pools, tennis courts, etc. The residential land use parcel classification is the highest land use in the Village, with approximately 87% of all of the parcels used for residential purposes.

#### Commercial

The commercial land use classification can be defined as all real property used or held for use for business purposes and not specifically included in another class. Approximately 6% of the parcels within the Village are used for commercial purposes.

### Industrial

The industrial land use classification can be defined as all real property used or held for use for manufacturing, milling, converting, producing, processing, extracting or fabricating materials unserviceable in their natural state to create commercial products or materials. Also, industrial activities can include the mechanical, chemical or electronic transformation of property into new products and any use that is identical to or an integral part of such use, whether for profit or non-profit purposes. Finally, the industrial classification can be used for property used for the storage, transmitting and generating of utilities. With 13 industrial parcels in the Village, this classification makes up less than 1% of the parcels.

### Institutional

The institutional land use classification can be defined as all property which is totally exempt from taxation. The institutional classification includes municipal or county uses, educational uses, charitable uses, religious uses, and use by authorities (Housing, Utility, Electric, Sewer, Water, etc.). Approximately 3% of all parcels in the Village are classified as institutional.

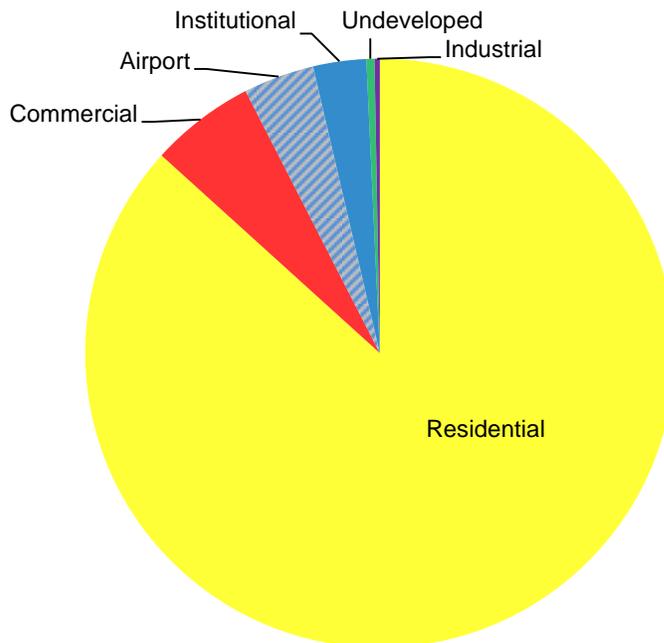
### Undeveloped

The undeveloped land use classification can be defined as all property which is not otherwise classified and does not have any existing improvements (whether residential, commercial, industrial, etc.). Less than 1% of the parcels in the Village are classified as undeveloped.

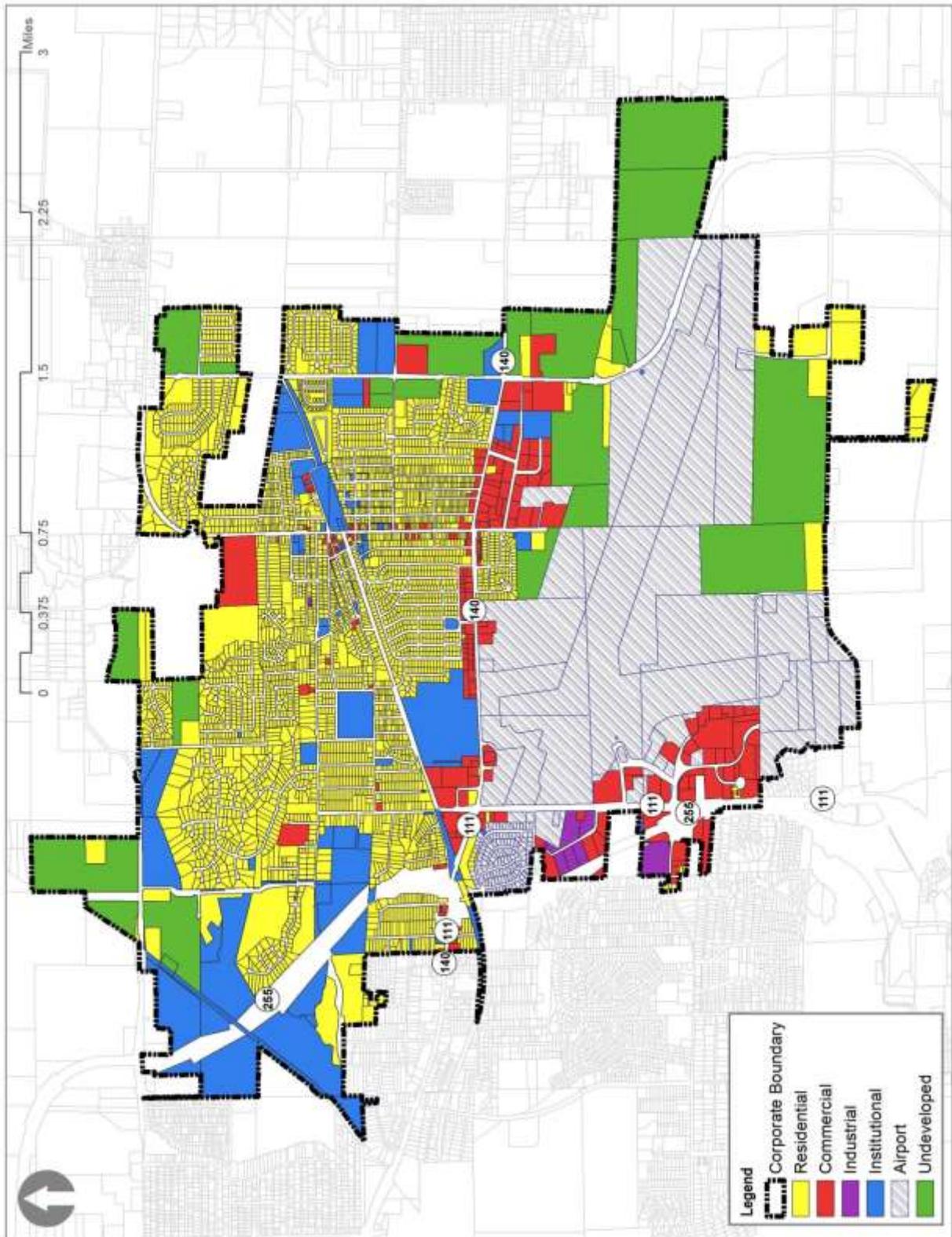
### Airport

The airport land use classification can be defined as all property used or held for use for airport related activities and not specifically included in another class. Approximately 4% of the parcels in the Village are classified as airport.

Figure 2.12-1: Land Use by Parcel Classification

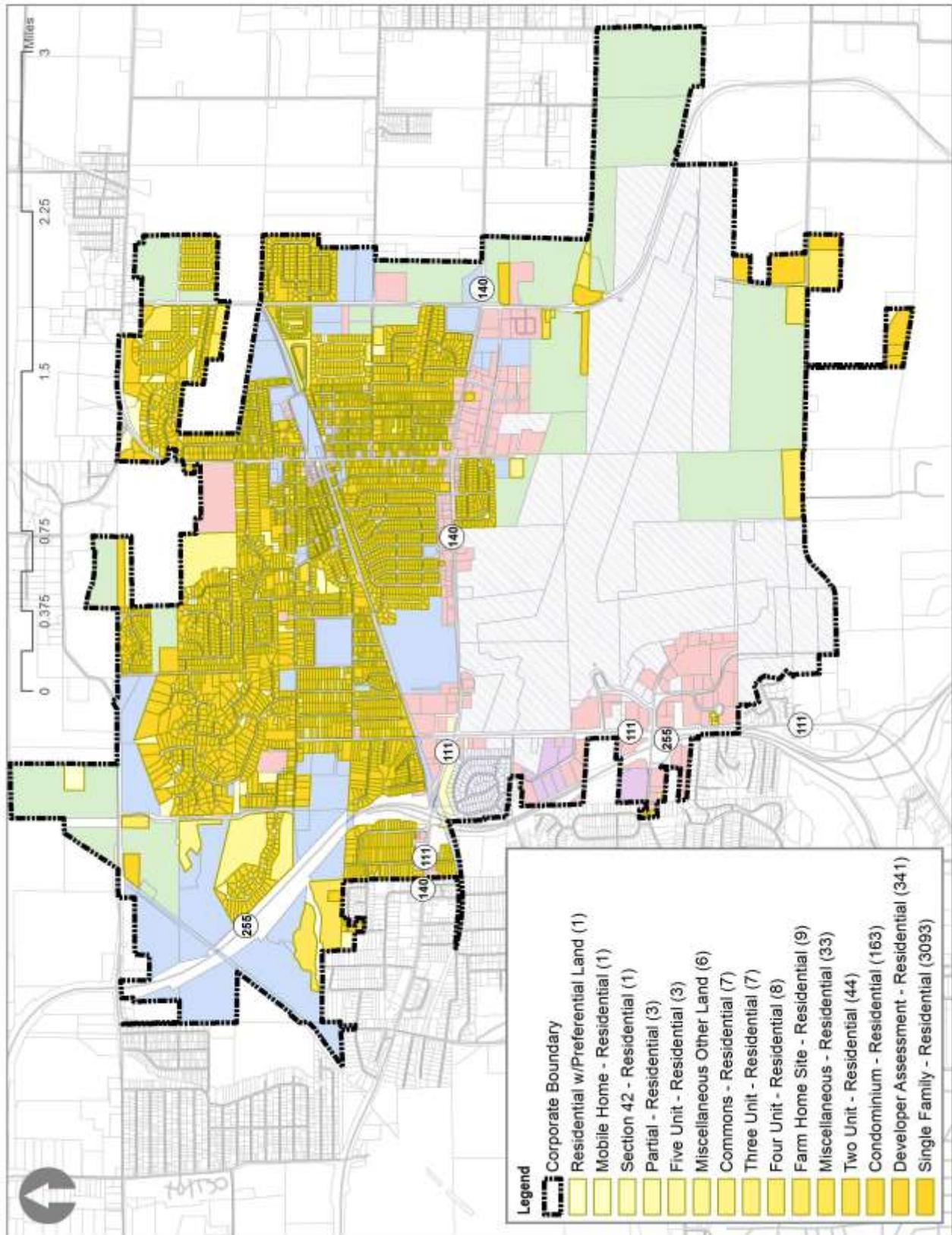


Map 2.12-1: Existing Land Use



Within each land use classification are sub-categories that further define the type of use. The following is a detailed look at each of the land use classification in the Village.

Map 2.12-2: Residential Parcels



**Single-Family**

This type of residential land use classification is for single family residential purposes. This is the predominant type of residential land use within the Village, with 86% of the residential parcels classified as single family.

**Condominium**

This type of residential land use classification is for parcels with condominium living units.

**Miscellaneous Residential**

Miscellaneous residential properties include those parcels of land which feature residential improvements and serve as accessory parcels to primary residential units, including garages, sheds, in-ground swimming pools, tennis courts, etc.

**Farm Home Site**

This type of residential land use is designated for those parcels which have improvements for residential purposes as well as agricultural purposes.

**Two-Unit**

This type of residential land use is designated for two residential units on one parcel of land. There are currently 13 parcels in the Village designated as two-unit residential properties.

**Miscellaneous Other Land**

Miscellaneous other land related to properties used for residential purposes.

**Five-Unit**

This type of residential land use is designated for five residential units on one parcel of land. There is currently one parcel in the Village designated as a five-unit residential property.

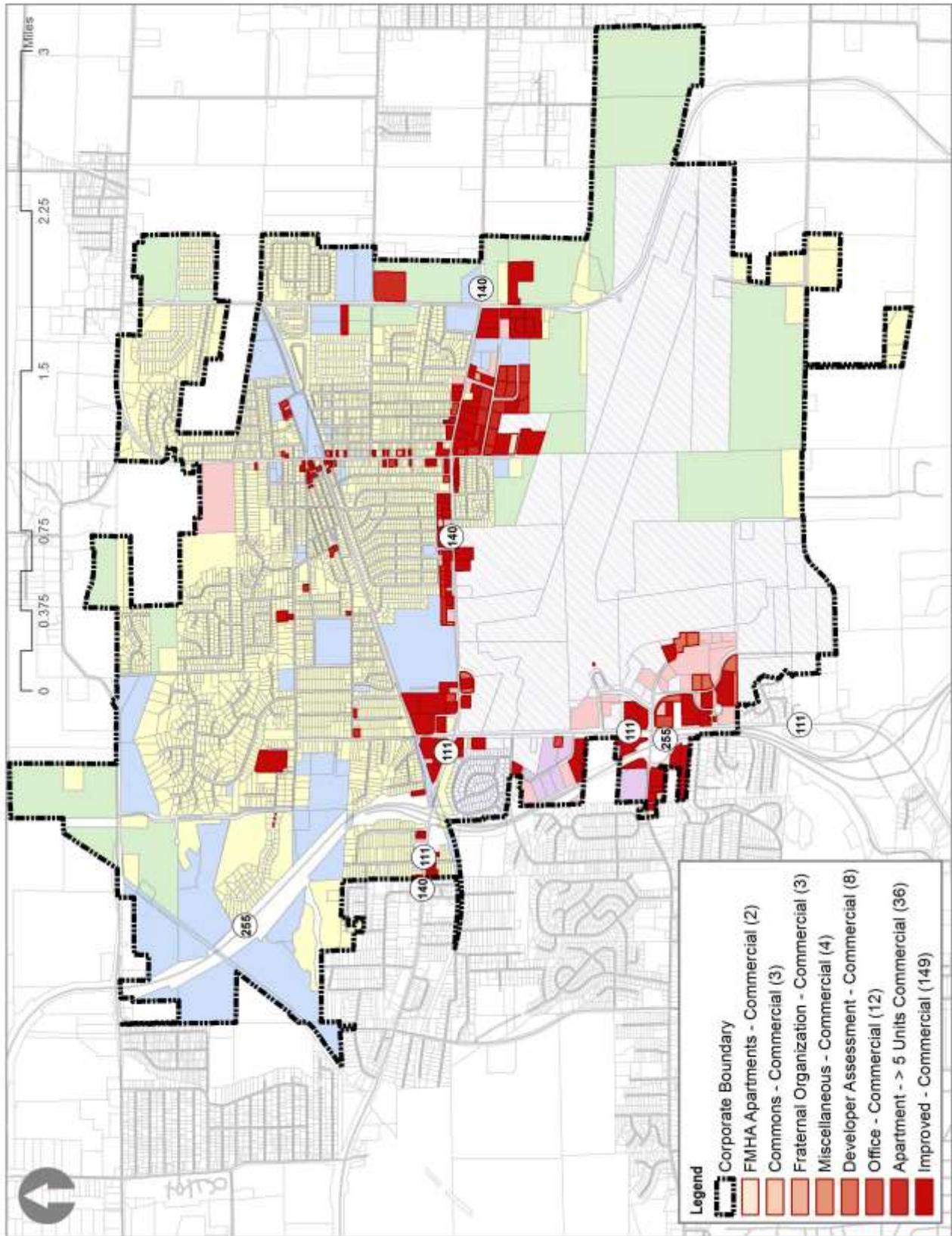
**Mobile Home**

This type of residential land use designation is specifically for mobile home residential units.

**Section 42**

This type of land use designation is for those properties that are being used for "Section 42" apartments. The residents who live in Section 42 housing must be income and program eligible, similar to residents who live in rental assistance developments.

Map 2.12-3: Commercial Parcels



**Improved-Commercial**

This type of commercial land use classification is for properties that have improvements intended for general commercial use.

**Apartment (6 to 999 Units)**

This type of commercial land use designation is for those parcels of land which have commercial purposes related to multi-unit apartments, from 6 to 999 units.

**Office**

This type of commercial land use designation is for those parcels which have commercial office uses.

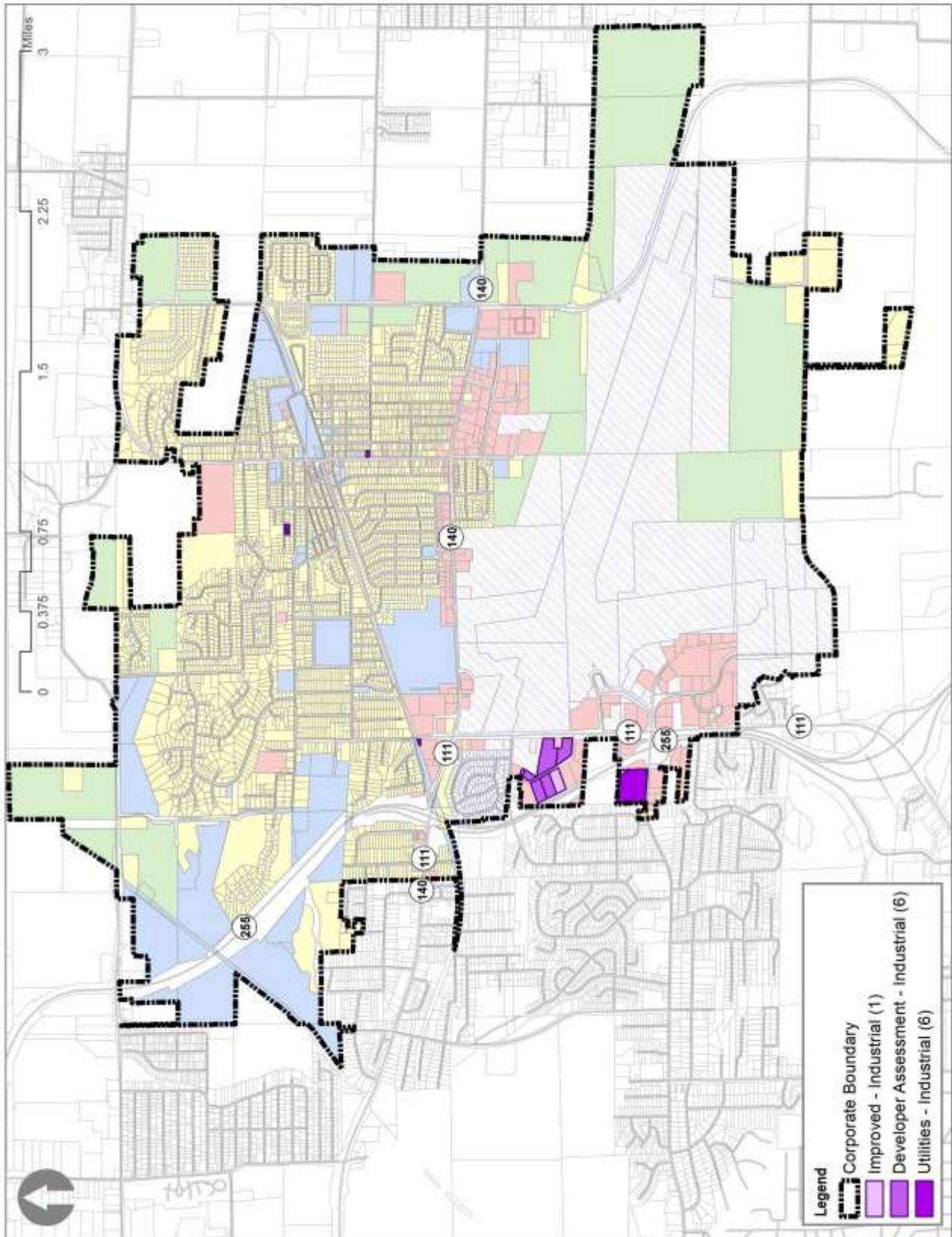
**Miscellaneous Commercial**

Miscellaneous commercial properties include those parcels of land which feature commercial improvements and serve as accessory parcels to primary commercial properties.

**Fraternal Organization**

This type of commercial land use designation is for those properties being used for commercial purposes related to fraternal organizations.

Map 2.12-4: Industrial Parcels



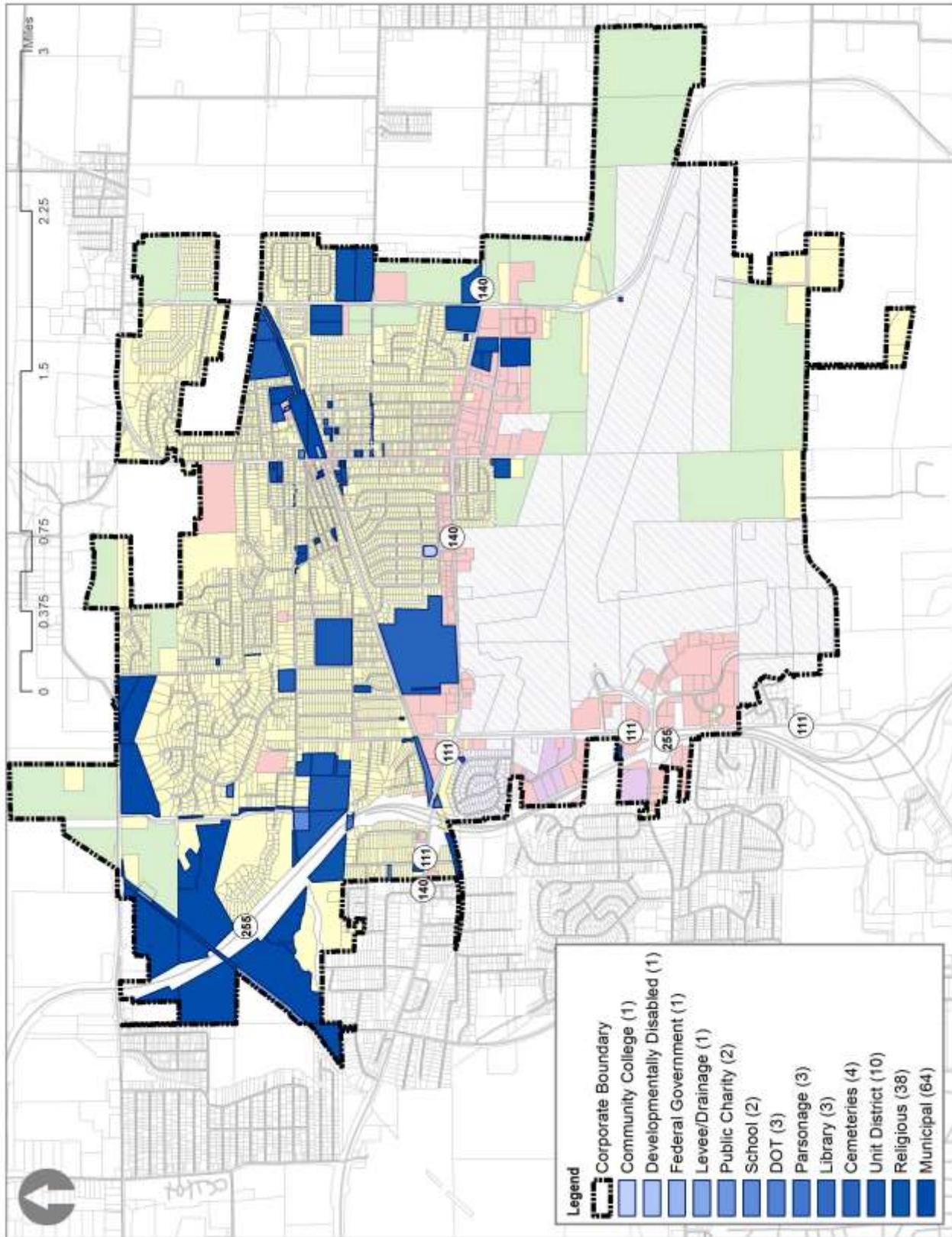
**Utilities**

This type of industrial land use designation is for those parcels which have improvements related to the generation of utilities.

**Improved- Industrial**

This type of industrial land use classification is for properties that have improvements made intended for general industrial use.

Map 2.12-5: Institutional Parcels



**Municipal**

This type of institutional land use designation is for those parcels which are owned by and used for a municipality.

**Religious**

This type of institutional land use designation is for parcels which are used for or related to religious purposes.

**Unit District**

This type of institutional land use designation is for those parcels which are used for purposes related to the school district.

**Cemeteries**

This type of institutional land use designation is for parcels which are used for cemetery purposes.

**Library**

This type of institutional land use designation is for parcels which are used for the Library.

**Parsonage**

This type of institutional land use designation is for those parcels which are used for parsonage purposes.

**DOT**

This type of institutional land use designation is for parcels which are typically right of way, and owned by the department of transportation.

**School**

This type of institutional land use designation is for parcels which are used for school purposes.

**Public Charities**

This type of institutional land use designation is for parcels owned by or used for public charities.

**Levee/Drainage**

This type of institutional land use designation is for parcels which serve as drainage or are part of the levee system.

**Federal Government**

This type of institutional land use designation is for parcels owned by or used for the federal government.

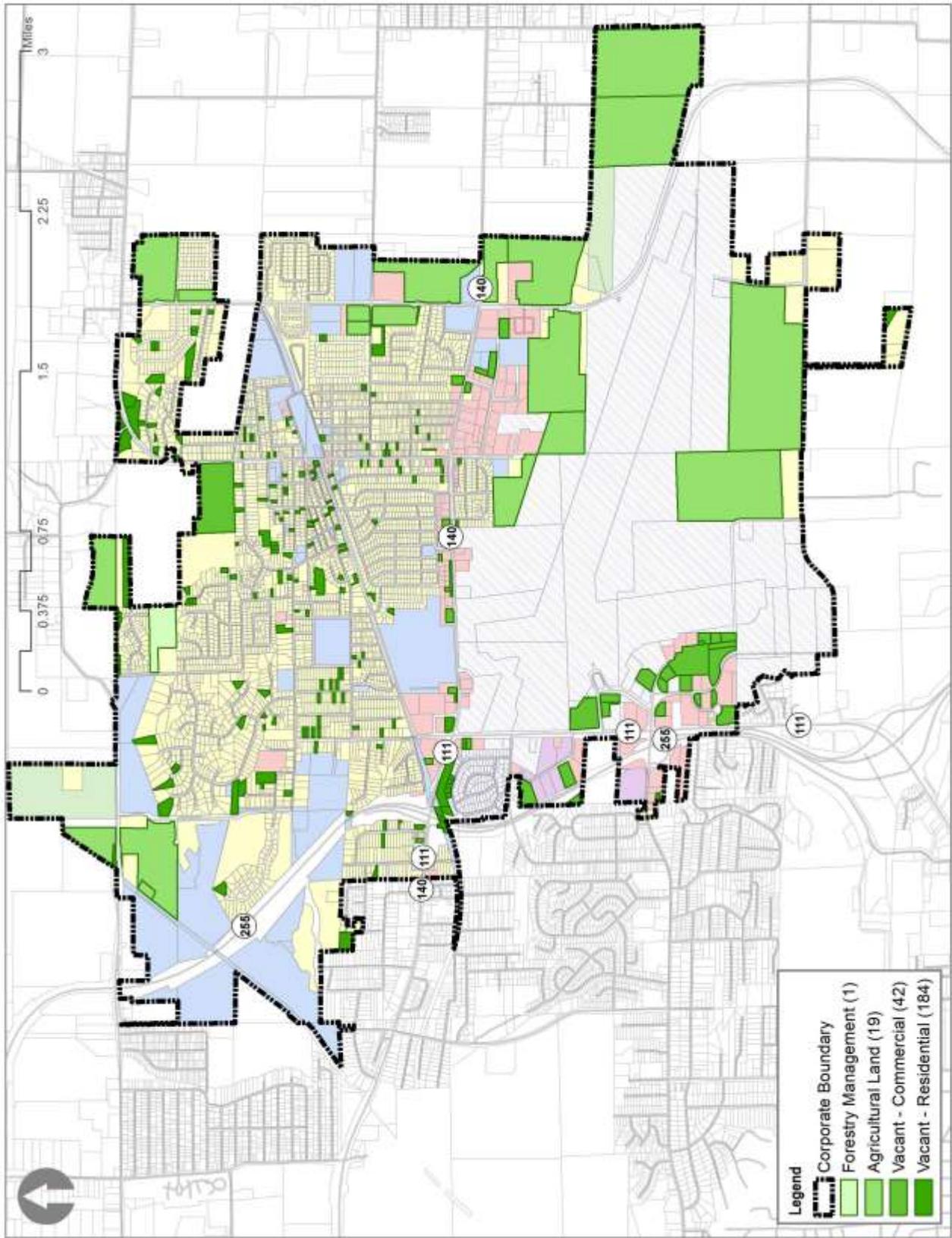
**Developmentally Disabled**

This type of institutional land use designation is for those parcels which are used for developmentally disabled institutional purposes.

**Community College**

This type of institutional land use designation is for those parcels which are used the community college.

Map 2.12-6: Undeveloped Parcels



**Vacant – Residential**

This type of undeveloped land use classification is for those properties intended for residential purposes, but currently have no residential improvements.

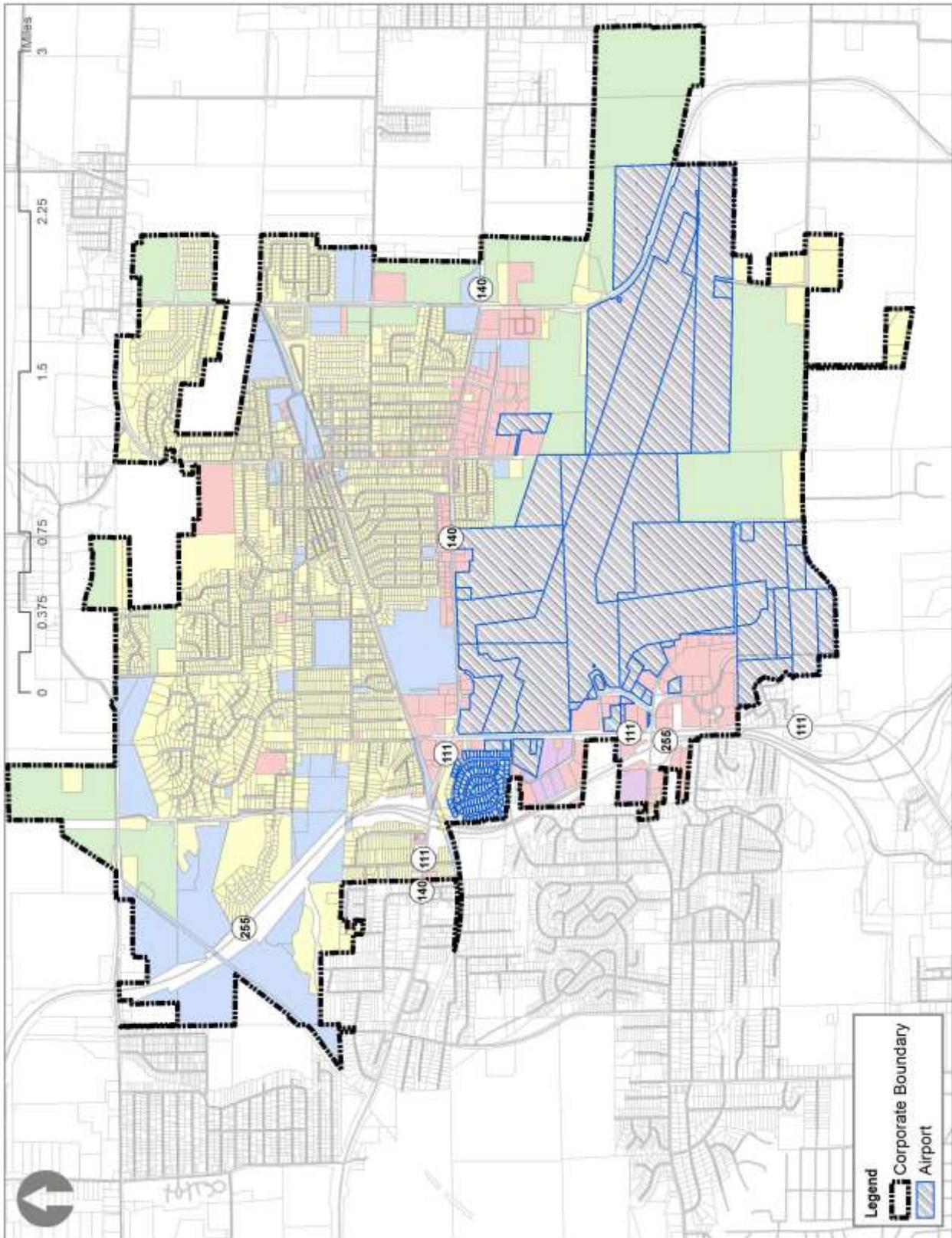
**Vacant – Commercial**

This type of undeveloped land use classification is for those properties intended for commercial purposes, but currently have no commercial improvements.

**Agricultural Land**

This type of undeveloped land use classification is for properties that have no physical improvements, but are being used for agricultural purposes.

Map 2.12-7: Airport Parcels



**Airport**

The general airport land use classification can be defined as all property used or held for use for airport related activities and not specifically included in another class.

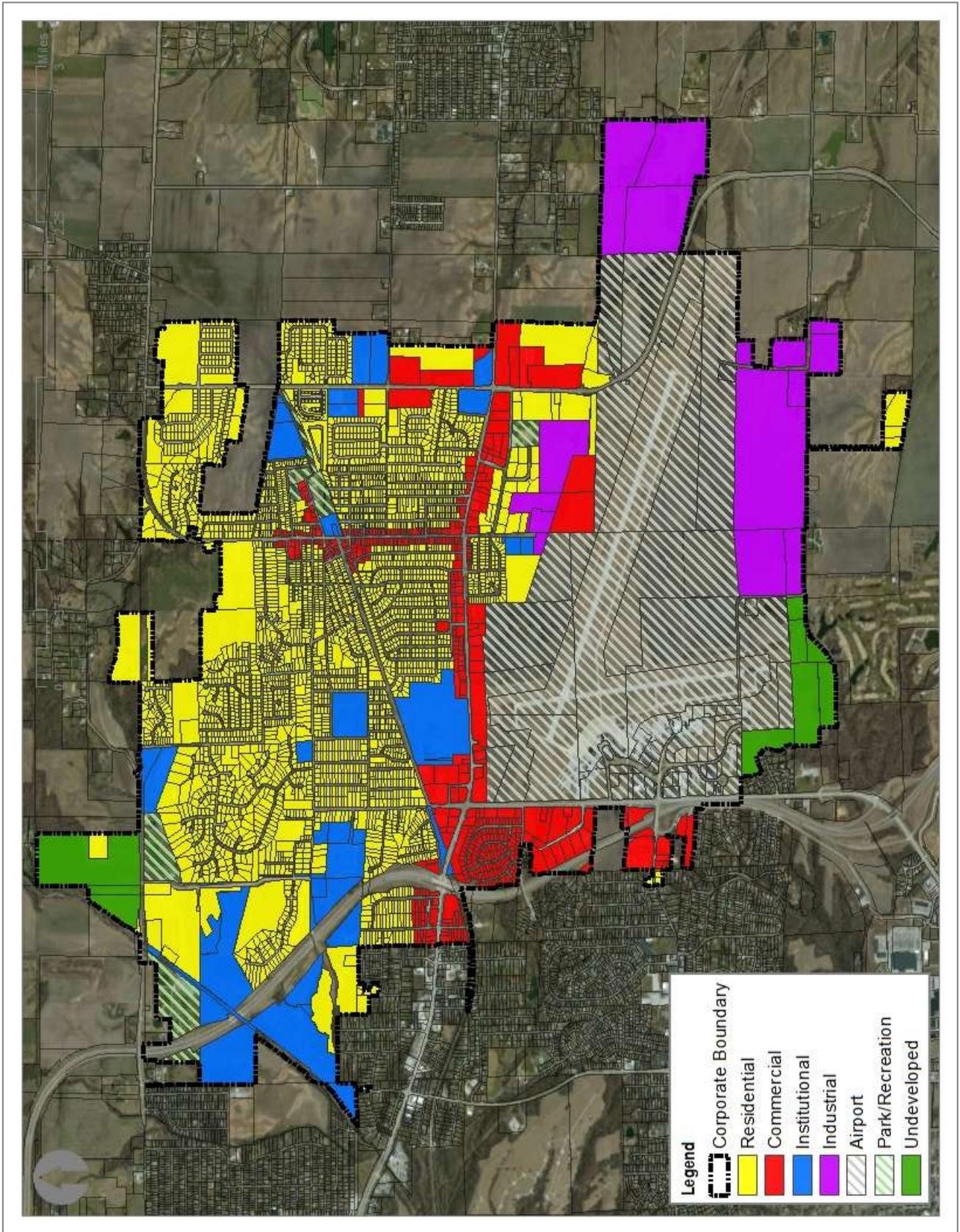
**Future Land Use**

The Future Land Use element establishes the pattern of land uses and location of growth for Bethalto. This section represents the growth policy from which the Village ensures that physical expansion of the developed areas is managed at a rate to support any projected population and economic growth.

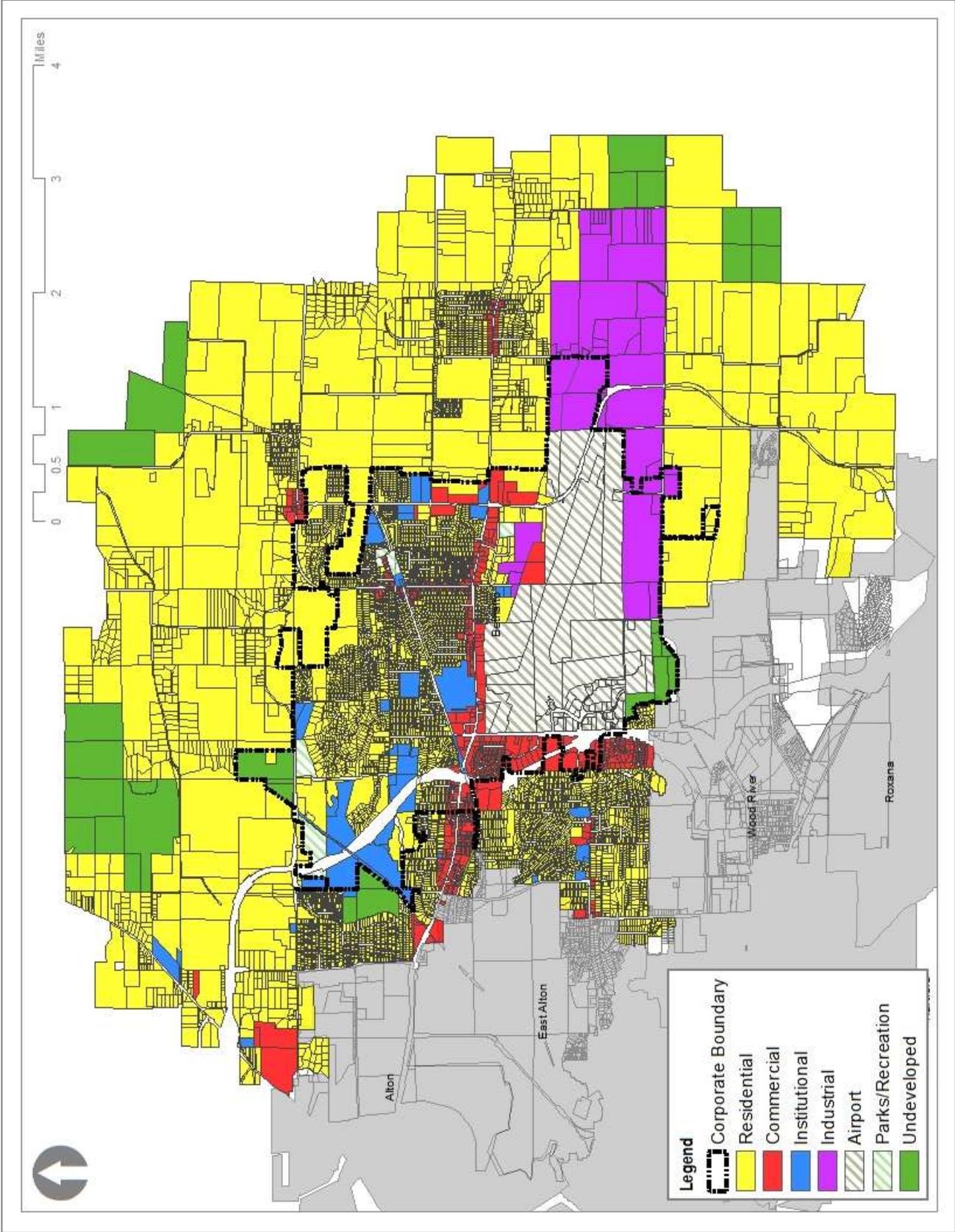
The Future Land Use map, Map 2.12-8, identifies locations in Bethalto where various land uses and intensities of use would be ideal in the future. It establishes broad strategies in keeping with the role of the comprehensive plan as a framework for future development.

The Future Land Use map reflects Bethalto's previously adopted plan, as well as takes into consideration current development trends. Additionally, in order to plan for future growth beyond the existing Village boundaries the future land use of the land within a 1.5 mile radius of the existing corporate limits is considered. In Bethalto's case, not much of the adjacent property is currently incorporated in other municipalities aside from the southwesterly side with Wood River. Map 2.12-9 shows the future land uses of the unincorporated properties within a 1.5 mile radius of Bethalto's corporate limits.

Map 2.12-8: Future Land Use



Map 2.12-9: 1.5 Mile Future Land Use

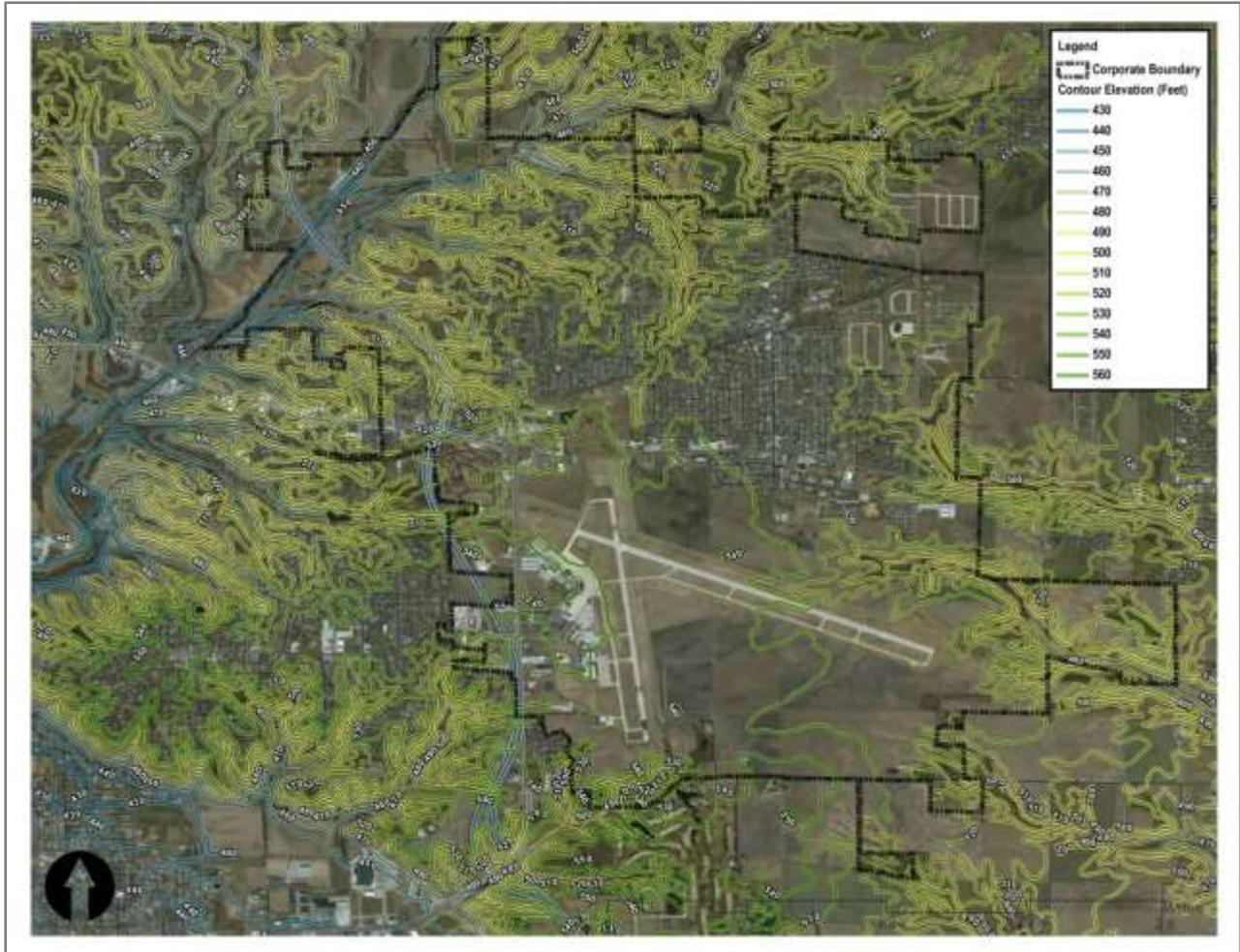


## Section 2.13: Environment

### Physiography

The Village is located in the Interior Plains physiographic province that covers most of the mid-west and north-central portions of the United States. The Interior Plains province is characterized by flat to gently rolling topography. Much of the area in and around the Village consists of rolling upland and relatively flat prairie. Bethalto has an elevation of 544 feet above mean sea level.

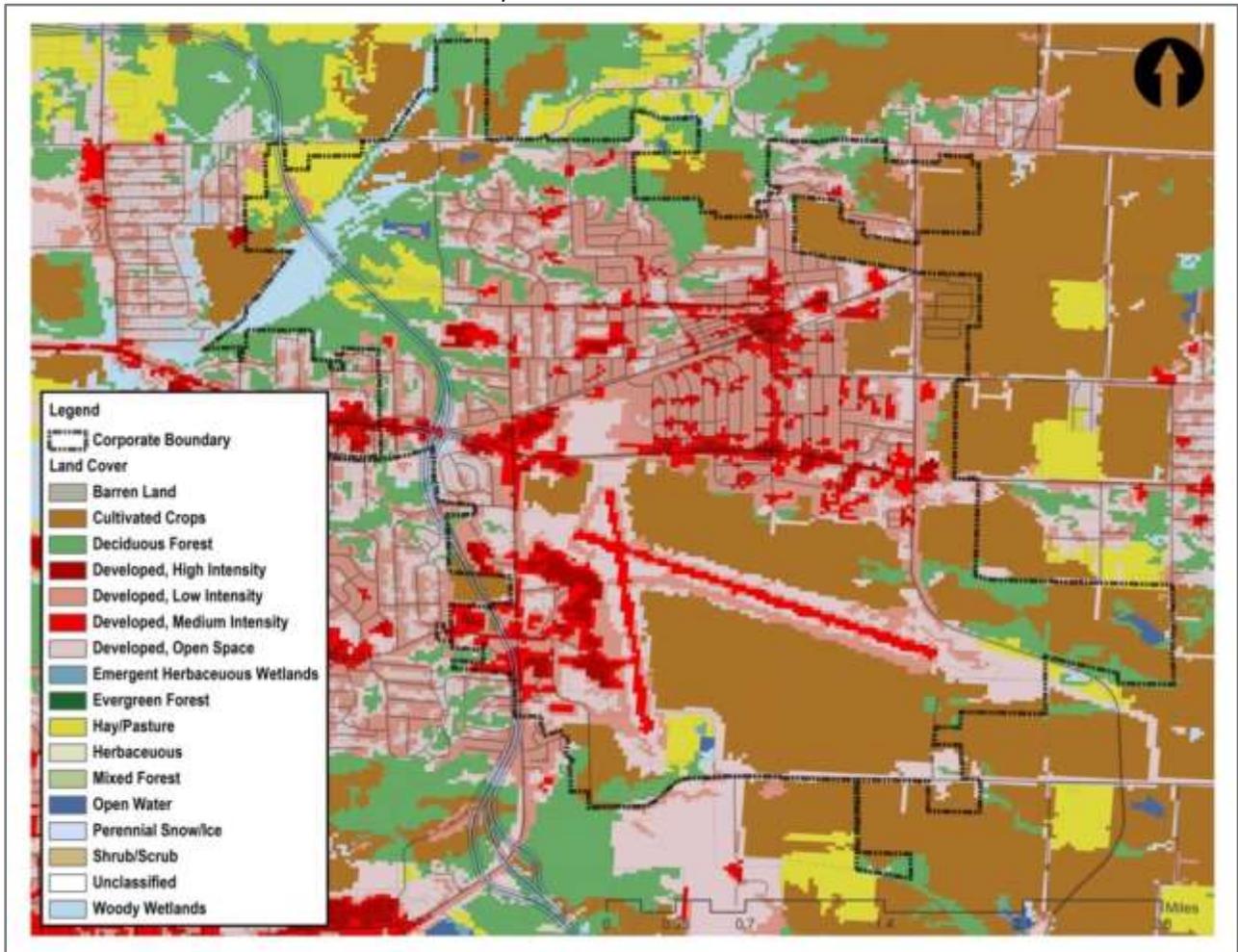
Map 2.13-1: Contour Elevation



### Land Cover

The majority of the undeveloped land in and around the Village is cultivated crops, with some areas of deciduous forest and hay/pasture intermixed. The area is covered primarily by broad-leaf deciduous and needleleaf deciduous trees. Historically, the naturally occurring trees have been oak and hickory varieties. Other native vegetation includes tall grasses associated with prairies. Most of the developed land is low intensity, with areas of medium and high intensity adjacent to the more trafficked roadways throughout the Village.

Map 2.13-2: Land Cover



## Geology

The lithology and physical structure of the underlying surface of Bethalto consists of slightly to moderately tilted, older sedimentary rocks. These sedimentary rocks include dolomite, shale, sandstone and limestone. Bedrock formations exposed in the area represent three separate geologic systems, the Ordovician, Mississippian, and Pennsylvanian, each of which were formed at different periods during the earth's history. Ordovician rocks include sandstone, dolomite, and moderate solution limestone and extensive solution limestone. Pennsylvanian rocks (more than 300 million years old) overlay these older Mississippian formations and consist of cyclic strata of shales, sandstone, and limestone with some seams of coal. These cyclic deposits are most common in the Bethalto area except for the floodplains that contains alluvial sediments and soil material left by floods.

## Soil Characterization

See Appendix B: Soil Glossary for a brief description of each of the soil types in the area, including the soil's setting, properties and qualities, map unit composition, and minor components. The descriptions of the soils are from a recent soil survey conducted for Madison County by the United States Department of Agriculture and the Natural Resources Conservation Service, in cooperation with the Illinois Agricultural Experiment Station.

Map 2.13-3: Area Soils



# Chapter Three

## Chapter 3: Community Participation

The following chapter details the community participation element of the Comprehensive Planning process. This includes the responses to the Community Survey, Strength/Weakness/Opportunity/Threat (SWOT) Analysis, and community feedback from the Public Hearings. In this chapter:

**Section 3.1: Survey Results**

**Section 3.2: SWOT Analysis**

**Section 3.3: Vision Statement**



### Section 3.1: Survey Results

The Community Survey consisted of a series of multiple-choice and open-ended questions for the public to submit their thoughts and opinions on a variety of topics related to the Village and Community. The following is an overview of the responses to the multiple-choice questions in the survey.

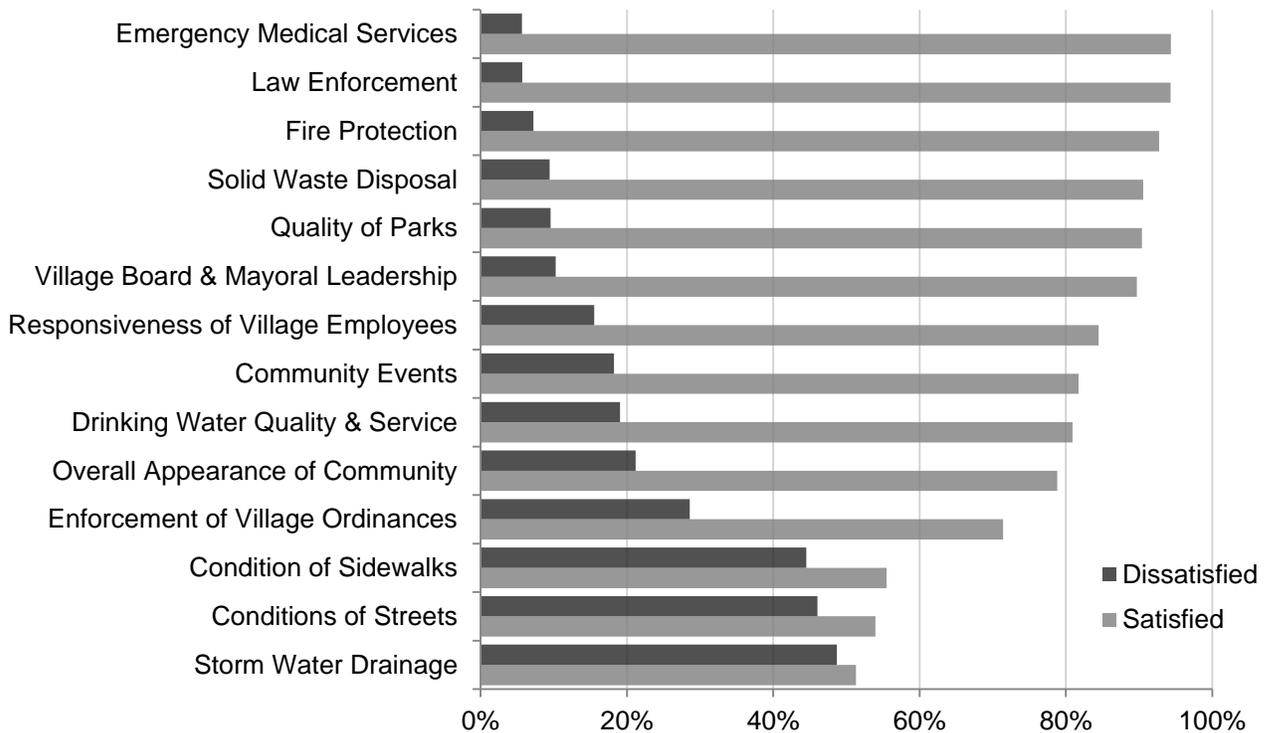
**Question One:** Please select your level of satisfaction concerning community services, facilities and policies in Bethalto.

The respondents were asked to indicate a level of satisfaction by choosing one of the following responses:

- Very Satisfied
- Satisfied
- Indifferent
- Dissatisfied
- Very Dissatisfied

Figure 3.1-1 shows the level of satisfied responses (“Very Satisfied”, “Satisfied”) compared to dissatisfied responses (“Very Dissatisfied”, “Dissatisfied”). In order to represent the proportion of satisfied versus dissatisfied responses, those responses of “Indifferent” were not shown.

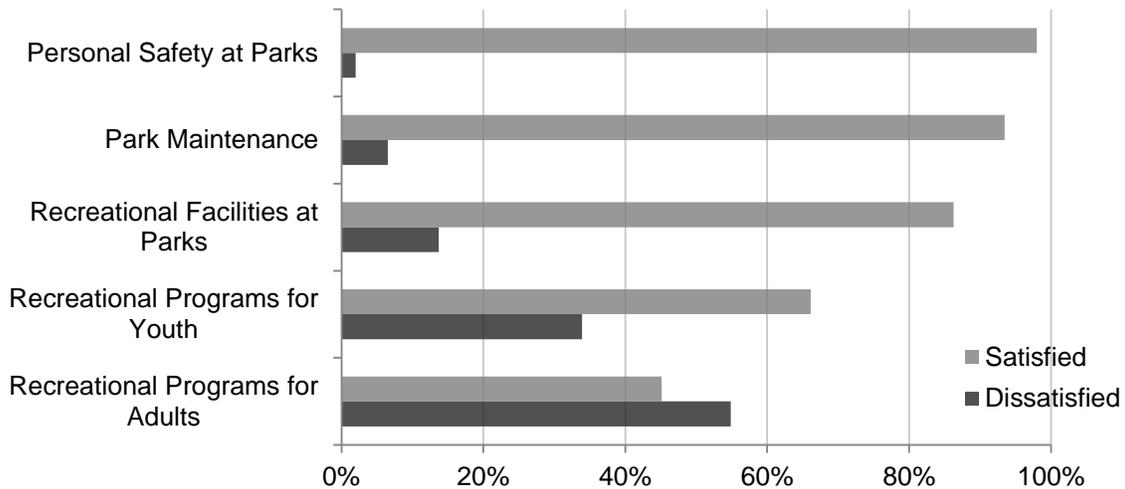
Figure 3.1-1: Survey Results for Question 1



**Question Two:** We would like your opinion about parks and recreation services and facilities. Please express your level of satisfaction with each of the following.

Similarly to question one, the choices for question two range from “Very Satisfied” to “Very Dissatisfied”. Figure 3.1-2 shows the responses of satisfied versus dissatisfied, again with “Indifferent” responses omitted.

Figure 3.1-2: Survey Results for Question 2



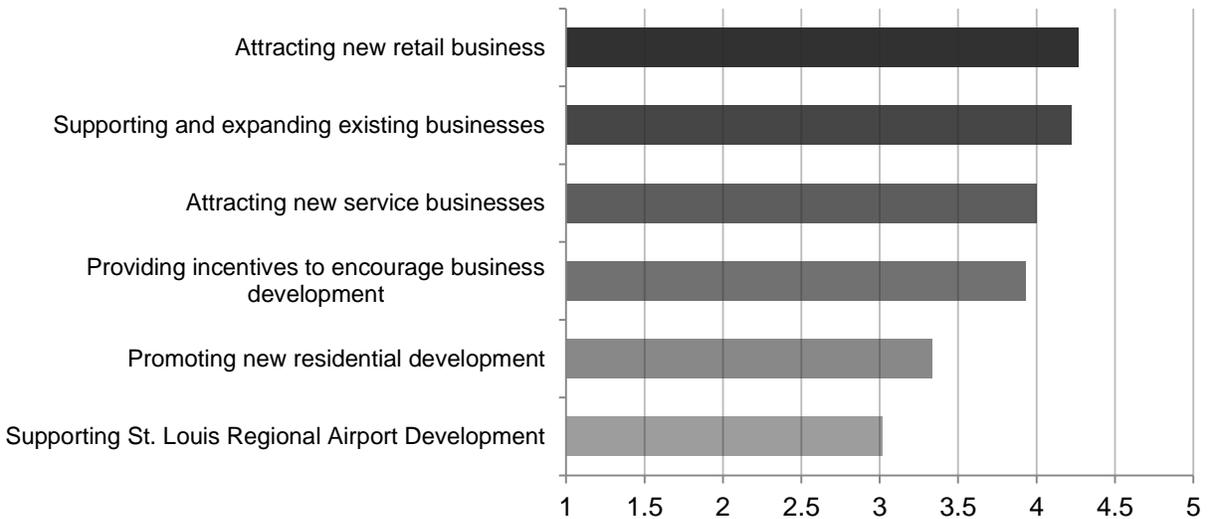
**Question Three:** Please identify the relative priority for the following economic development programs in Bethalto.

Respondents were asked to choose one of the following for each of the categories:

- Very High
- High
- Medium
- Low
- Very Low

Figure 3.1-5 shows the survey results. The responses were weighted from 1-5, with “Very High” being 5 and “Very Low” being 1. The average rating of each topic is then shown in Figure 3.1-3.

Figure 3.1-3: Survey Results for Question 3



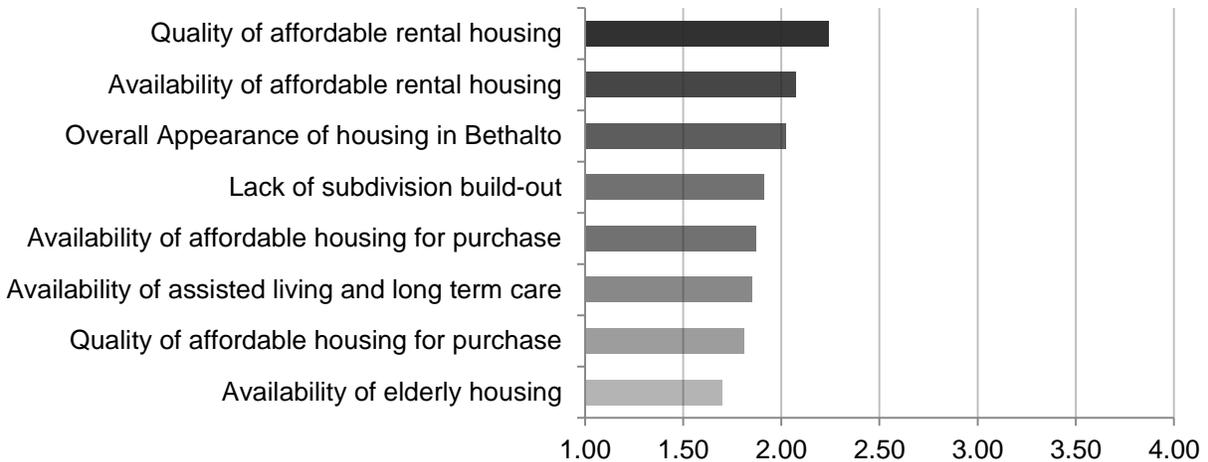
**Question Five:** To what extent to you think the following housing issues are a problem in Bethalto?

Respondents were asked to choose one of the following for each of the categories:

- A Serious Problem
- A Moderate Problem
- A Slight Problem
- Not a Problem

Figure 3.1-4 shows the survey results. The responses were weighted from 1-4, with “A Serious Problem” being 4 and “Not a Problem” being 1. The average rating of each topic is then shown in Figure 3.1-4.

Figure 3.1-4: Survey Results for Question 5



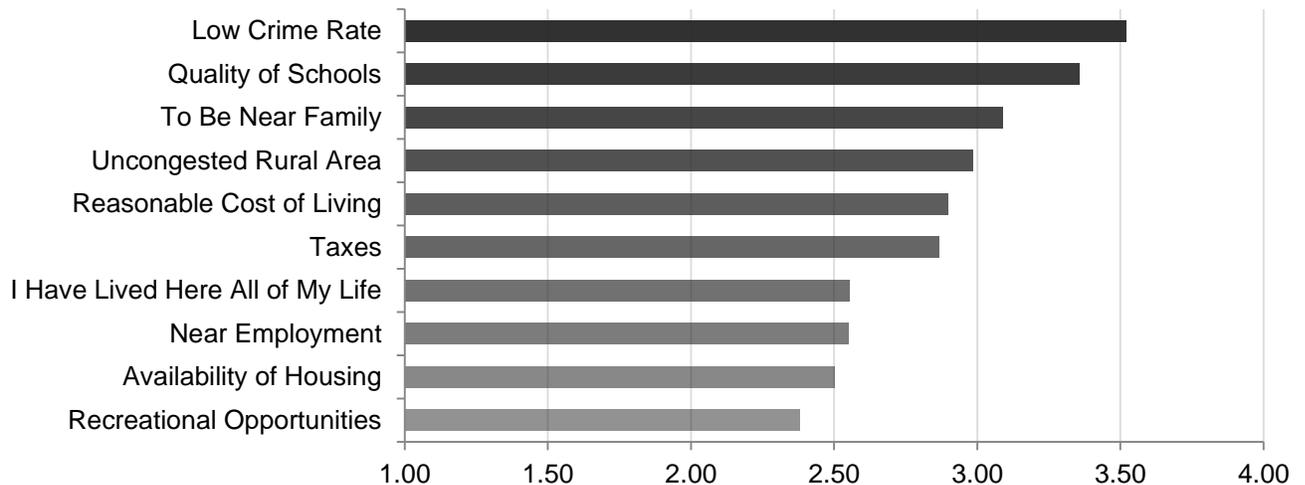
**Question Eight:** Which one of the following were important reasons to you for originally locating or acquiring property in Bethalto?

Respondents were asked to choose one of the following for each of the topics:

- Very Important
- Important
- Somewhat Important
- Not Important

Figure 3.1-5 shows the survey results. The responses were weighted from 1-4, with “Very Important” being 4 and “Not Important” being 1. The average rating of each topic is then shown in Figure 3.1-5.

*Figure 3.1-5: Survey Results for Question 8*



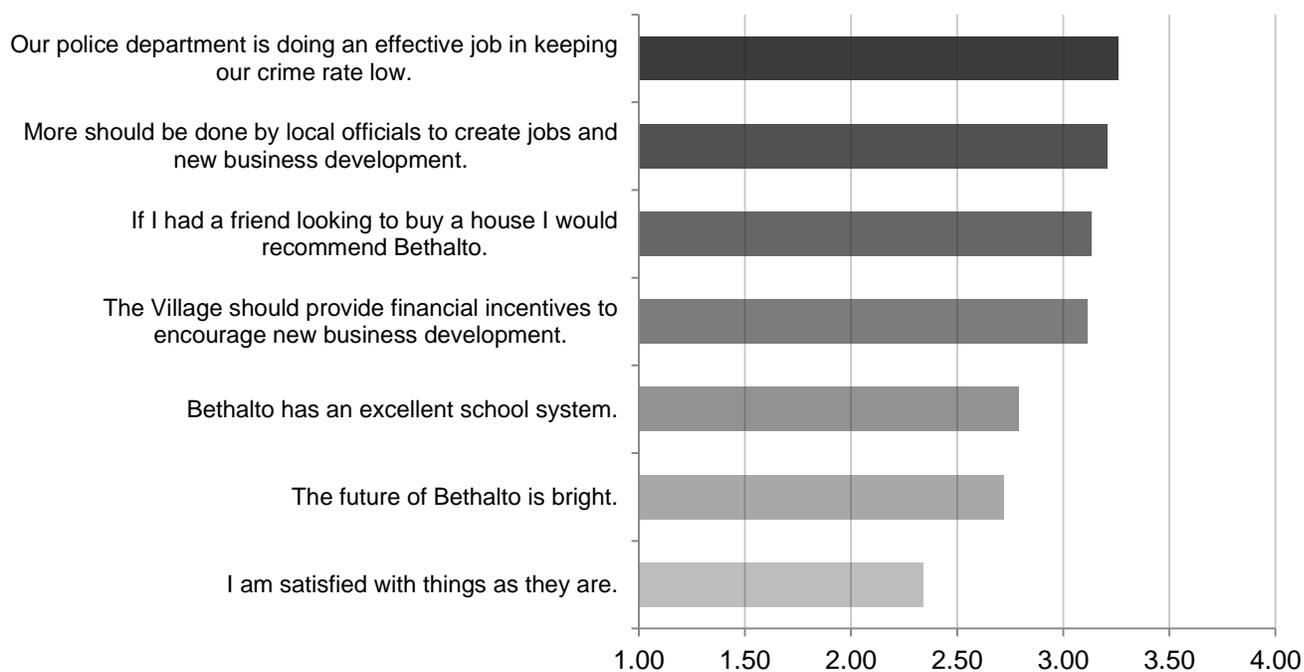
**Question Eleven:** The following are some statements about Bethalto. Please indicate how you feel about each by checking the box that matches your opinion.

Respondents were asked to choose one of the following for each of the topics:

- Strongly Agree
- Agree
- Disagree
- Strongly Disagree

Figure 3.1-6 shows the survey results. The responses were weighted from 1-4, with “Strongly Agree” being 4 and “Strongly Disagree” being 1. The average rating of each topic is then shown in Figure 3.1-6.

Figure 3.1-6: Survey Results for Question 11



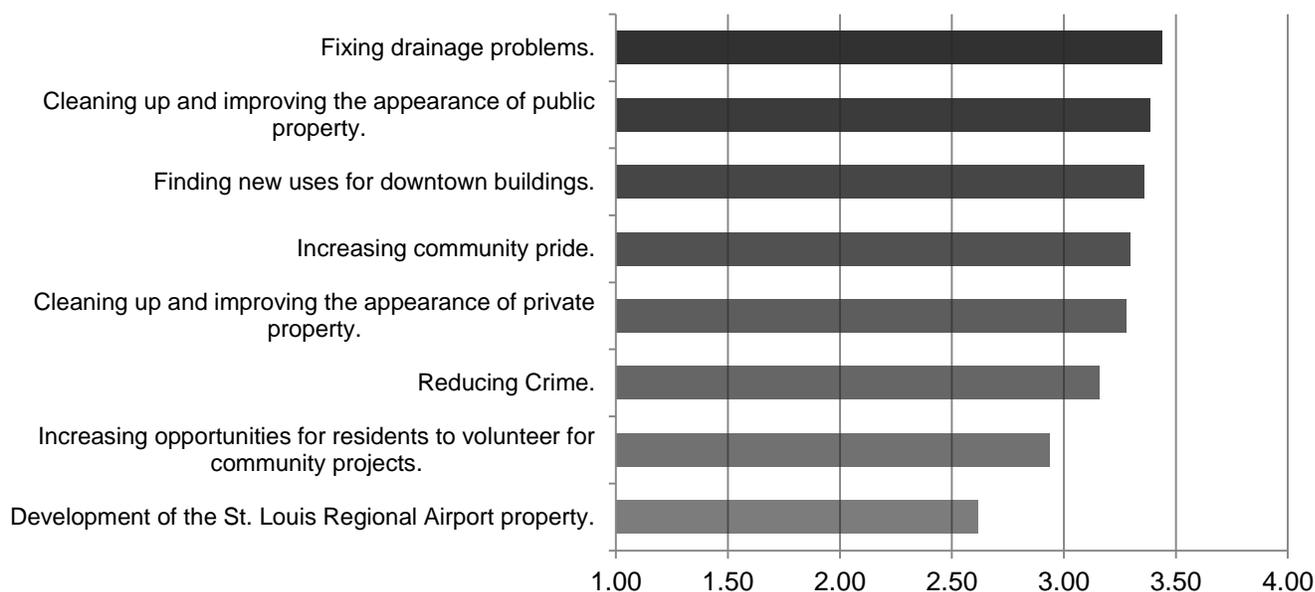
**Question Twelve:** How important are the following community improvement projects and ideas?

Respondents were asked to choose one of the following for each of the topics:

- Very Important
- Important
- Somewhat Important
- Not Important

Figure 3.1-7 shows the survey results. The responses were weighted from 1-4, with “Very Important” being 4 and “Not Important” being 1. The average rating of each topic is then shown in Figure 3.1-6.

Figure 3.1-7: Survey Results for Question 12



### Section 3.2: Public Hearings/Charettes

The Village underwent a series of public hearings and public charettes to discuss various elements of the Comprehensive Plan. We achieved our desired outcome and generated excitement among concerned citizens over the creation of the comprehensive plan and added input into the formulation of the Vision Statement and Issues and Opportunities sections. We also received extensive feedback on the formulation of goals, objectives and strategies for achieving these outcomes. Participation exceeded the Village's expectations.

### Section 3.3: SWOT Analysis

The use of SWOT Analysis as a planning tool is commonly used as an initial step in the planning process. A SWOT Analysis can be useful in determining a vision for the comprehensive plan, as well as help form some of the goals and objectives of the plan.

The SWOT analysis is divided into four categories:

- Strength
- Weakness
- Opportunity
- Threat

Strengths and Weaknesses are factors internal to the Village, with opportunities and threats being external factors. Of the four categories, strengths and opportunities are considered positive factors, whereas weaknesses and threats are negative factors. The SWOT Analysis for

the Village was collaboration between the planning commission and members of the public at the various public meetings and hearings throughout the planning process.

**The following were identified as Strengths within the Village:**

- Village Library
- The Village's Pursuit of Grant Opportunities
- Quality of the Roads in the Village
- Village Fire Department and Volunteer Staff
- The Sense of Community within the Village
- Low Crime Rate/Police Department
- Accessibility to Interstate/Highway 255
- St. Louis Regional Airport
- The Village Owning its Water Service/Distribution
- Quality of the K-12 Schools/High Graduation and Achievement Rates
- Village's Senior Center
- Senior Transportation Program
- High Traffic Counts/Visibility from Adjacent Roadways
- The Village's Recreational Space
- Proximity of the Village to St. Louis
- Healthy Environment
- Low Tax Rates in the Village
- Proximity to the Gateway Commerce Center

The citizens of Bethalto feel that there are many traits that are both unique to the community and give it an advantage over other places. An overarching topic was that of the community services that Bethalto has to offer. The fire department, although volunteer, maintains excellent services within the community. The village enjoys the amenities and safety that a city run police department offers, causing Bethalto to have one of the lowest crime rates of any community in the area and adding a sense of safety and wellbeing to many community members. The city also owns its own water service and caters to seniors through the Bethalto Senior Center and senior transportation program.

Access to key interstates such as 255, 270, and 55, the proximity of the Village to the major metropolitan hub of St. Louis, as well as low tax rates and plentiful green space also serve as strong characteristics for the Village. The advantage of having major distribution services such as the St. Louis Regional Airport located within the Village as well as the Gateway Commerce Center just a few miles away also help provide unique economic advantages for businesses in Bethalto.

**The following were identified as Weaknesses within the Village:**

- Lack of Clear Branding, Mixed Perceptions of the Village, and a Lack of an Identity
- The Perception of the Village as a Bedroom Community

- Sanitary Sewer System and Storm Sewer System
- The Scarcity of Entertainment Opportunities
- Lack of Bike Paths
- Declining Equalized Assessed Valuations (EAVs)/Village Revenues
- Lack of Funding for Capital Improvements
- No Hotel in the Area
- Stagnant Business District
- Lack of Cooperation with the St. Louis Regional Airport
- Lack of Coordination with the School District
- No Effort for Retention of Young Adults/Families
- Lack of Preparation of Students for College/Low Academic Standards
- Underutilized Interchanges of Illinois 140/111 and Illinois 140/Highway 255
- Limited Retail Business
- Limited Industrial Business

After a long discussion, there was a recurring theme that Bethalto doesn't have a clear identity or vision for itself and has a hard time of deciding how it wants to be perceived. Lacking the cooperation and unity of vision between major political components within Bethalto such as the School District and Airport, tensions tend to be pretty high between various entities when issues of Village development and growth are brought up.

Issues also exist with the sanitary sewer system, storm sewer system, and the development of recreational opportunities although there is plenty of available space, a lack of entertainment activities such as movie theaters, and limited retail and industrial development. It was mentioned that a hotel would be an ideal development as well as the connection of the MCT bike trail system to allow access to and through Bethalto.

Although the interstates are strengths to the community, the interchanges also serve as weaknesses because of the low level of upkeep and poorly maintained fascia and design. Many members believed that the unattractive appearances of the interchanges actually dissuaded travelers and businesses from coming to the Village.

One of the key findings of the demographic reports was that young people and families were leaving the community and no new families were being attracted or retained. This was leading to significant losses in student population and little or no new residence/household growth. The inability to draw and retain young families and community members was therefore discovered as a weakness within the Village.

**The following were identified as Opportunities to the Village:**

- Expansion of the Village's Image Beyond "Quiet Community"
- Ample Open/Green Space for Future Growth
- Connectivity to the Madison County Bike Path/Trails
- Economic Development Possibilities

- Retail Business Attraction
- Utilization of the Village's Geographical Location in the St. Louis Metro East Region
- Existing Residential Infrastructure
- St. Louis Regional Airport Relationship
- Leveraging of the Village's Senior Population
- Potential Future Hub for the Madison County Transit System
- Illinois Department of Transportation Development with Highway/Interstate 255

The main opportunities for the Village revolve around the expansion and development of their residential, commercial, and industrial sectors. The village already has extensive residential lots which are currently vacant, but ready for development and has plenty of green space and retail/industrial locations which are available for redevelopment.

The geographic location of the Village (near STL) combined with the opportunities the St. Louis Regional Airport and Gateway Commerce Center allow, offer Bethalto many opportunities to leverage the competitive advantages they make available. There are also many opportunities for the inclusion of economic development incentives such as tax increment financing, business districts, and enterprise zones which the village has not yet pursued.

Transportation opportunities exist with the continued expansion and development of I-255 and a push for MCT to establish a hub in Bethalto.

Leveraging the existing infrastructure in place while expanding upon the relationships and unique facilities available to the Village will be key components to the strategic opportunities of Bethalto.

**The following were identified as Threats to the Village:**

- Declining School Enrollments
- Issues with the St. Louis Regional Airport and its Policies
- The Development of Highway 255 in Neighboring Communities, Specifically Godfrey
- Unmanaged Perception/Brand/Image of the Village
- Unclear Vision/Goals/Reputation
- The Foreclosure Rates in the Village
- Declining Manufacturing and Industry
- Continued Loss of Young Adult Population
- Vacant Lots
- Waning Desirability/Attractiveness to Current and Future Residents

Threats to the growth and development of the Village, as well as the well-being of its residents come in many forms. Overall, the underlying threats to the Village center on declining opportunities for employment for the Villages residents as well as the inability to retain and attract new business and residents to the Village. As other communities around the area continue to grow, the level of attractiveness that Bethalto needs to maintain and improve poses

a significant concern.

Bethalto needs to continue to create ways to attract and retain young people and families and the desirability and attractiveness of the Village continues to be an issue the village needs to address. As 255 continues to develop and other communities grow, the competitiveness will continue to increase. If concerns and issues with the airport are not addressed, it can also serve to hinder growth and development.

Portions of Madison County are rapidly growing; specifically, places like Edwardsville, Glen Carbon, Troy, and Maryville. These communities pose as the fastest growing competitors to Bethalto. As these communities continue to grow, attracting more retail and residents, Bethalto must continue to improve also, allowing it to remain competitive and continue its draw as a community where people want to live and businesses want to locate.

### **Section 3.4: Vision Statement**

Another part of the public participation in the planning process is crafting a Vision Statement for the Village. This took place over the course of several public meetings and hearings, and a host of broad ideas and topics were considered. The most common terms and ideals associated with Village were:

- Quiet
- Safe
- Friendly
- Neighborhoods
- Entertainment
- Parks and Recreation
- Family
- Education
- Affordable
- Business Retention/Attraction
- Small-Town Values
- Senior Care
- Government
- Historical
- Diverse

Keeping these in mind, a series of Vision Statements were considered. Through the combination of several statements and general ideas, the planning commission and general public were able to come up with what is the Vision Statement for the Village:

*The Village of Bethalto is and will continue to be a safe and family friendly community with easy access to the St. Louis metropolitan area. The Village prides itself with responsive public service departments including top quality education, senior services, and a wonderful park system. Our thriving business district offers competitive economic opportunities, and our active church community helps make Bethalto an excellent place to work, live, and raise a family.*

# Chapter Four

## Chapter 4: Goals and Objectives

In this chapter, goals and objectives for the Village are detailed for five different categories. The goals and objectives look toward the future, and going forward sustainability becomes a priority.

### Key principles of sustainability planning:

- Providing Transportation Choices
- Promoting Affordable Housing
- Enhancing Economic Competitiveness
- Supporting Existing Communities
- Coordinating Policies
- Enhancing the Unique Characteristics of the Village

These principles guided the development of the goals for each of the following sections:

### Section 4.1: Economic Development

### Section 4.2: Housing

### Section 4.3: Infrastructure and Village Services

### Section 4.4: Land Use

### Section 4.5: Livability

Each goal is accompanied by one or more objectives, and in many cases an approach which builds toward the objective.



## Section 4.1: Economic Development

**Goal:** Strengthen and grow the Village's property and sales tax base, and increase the number of jobs within the Village, through the expansion of economic activity within Bethalto.

**Objective:** Increase overall economic activity in the Village to help insure that the Village has the financial ability to meet the Goals and Objectives that it has identified.

**Approach:** Identify and assess the best fit of various methods of outreach (trade shows, trade publications, regional forums, etc.) to the "business community" which can be used to market Bethalto.

**Approach:** Form a Village "outreach committee" to undertake the identification and assessment, and to create the marketing program and materials to be used in each setting.

**Objective:** Undertake assessment of Village's current (and known near-term) locational/market advantages.

**Approach:** Establish a working relationship with faculty at SIU-E, Lewis and Clark Community College (LCCC) and other economic development organizations in order to identify such advantages and understand current and likely future market trends affecting the community.

**Objective:** Benchmark the Village's economic development activity and report to the community on an ongoing basis.

**Approach:** Identify the Village's economic development activities and track their progress (level of investment, opening dates, employees, sales, etc.).

**Approach:** Report to the community regarding these activities on a periodic basis.

**Objective:** Explore, add, and keep current, economic development content on the Village's web pages.

**Approach:** Determine what economic development information is to be made available on the Village's web site and how it is to be maintained.

**Approach:** Optimize search engines toward the Village's web site's economic development content.

Approach: Identify and retain a partner to assist the Village in these activities.

Approach: Utilize resources available through the Illinois Department of Commerce and Economic Opportunity (IDCEO) using the Location One Information System to list and promote industrial and commercial properties. Keep building and site information current.

Objective: Explore ways to attract tenants to existing buildings.

Approach: Work with local real estate developers, leasing agents and the Chamber of Commerce, and those from outside the community who have successfully leased property in Bethalto, to achieve this Policy.

Objective: Continue to work closely with the St. Louis Regional Airport to assist in increasing economic activity.

Approach: Partner with the Airport to help promote it as a job center and economic development hub for the region.

Approach: Assist in recruiting and retaining commercial and airport users to the area.

Approach: Review the potential of bringing more hotels to the area to support Airport activities.

Approach: Identify incentive programs that might assist development within the Airport grounds.

Approach: Reinforce the relationship between the Village and Airport and be active in Airport Board meetings.

Approach: Designate a Village-member to serve on the St. Louis Regional Airport Strategic Plan Committee.

Goal: Develop and promote a municipal identity, and municipal administration, that positions Bethalto as business friendly.

Objective: Educate municipal employees on providing excellent customer service to residents of, visitors to, and potential investors in, Bethalto.

Approach: Identify program(s) that provide this education and arrange to have such program(s) provided on a periodic basis for municipal employees.

Objective: Create and update a marketing campaign that positions Bethalto as business friendly.

Approach: Joint/cooperative effort with Chamber of Commerce to create this campaign and keep it current.

Objective: Develop a public/private partnership between Village officials and entities that can support Bethalto's efforts to attract and retain businesses.

Approach: Identify these entities, form such partnerships and create the programs to attract and retain businesses.

Approach: Discover and review potential incentive programs to attract and retain businesses, and recommend such programs to the Village for adoption.

Goal: Establish Bethalto as a destination for regional-scale retailing.

Objective: Undertake periodic market research to determine if such activity is, or remains, feasible.

Approach: Identify and retain a market research firm to conduct the study and updates.

Objective: Identify location(s) for this activity within the Village and provide public infrastructure to attract this type of retailing (if market research determines that this activity is feasible in Bethalto).

Objective: Identify land use development and zoning programs and regulations that would enhance the Village for this activity.

Approach: Review of "best practices" literature for enhancement of such activity.

Approach: Meet with developers of such activity, in order to create these development and zoning programs and regulations.

Approach: Periodically identify land with economic development potential for such activity outside the Village, and expand corporate boundaries to encompass such properties.

Approach: Stay current on land use trends and rezoning requests in order to monitor where such land is located.

Approach: Take appropriate steps to incorporate such parcels into the Village.

Goal: Identify the Village's "downtown" and redevelop and revitalize it as a Village center with a small town character which has a sense of place, is aesthetically attractive, and provides residential and commercial activities, and accommodates both vehicles and pedestrians.

Objective: Evaluate the uses, walkability, design, and architectural styles of the general downtown area so that the Village can formalize a defined boundary of Bethalto's actual downtown.

Approach: Develop a citizen's committee to accomplish the evaluation and define the downtown.

Objective: Reclaim the Village's historic downtown through (re)development utilizing historic architecture, design and materials, for both public and private investment.

Approach: Once the downtown area is determined, identify these historic architecture, design and materials elements.

Approach: Review specific public and private actions and activities which have been used in similar reclamation efforts, determine which ones are suitable to implement in Bethalto, and develop necessary public policies / rules / regulations / incentives to implement this reclamation.

Objective: Lessen the cost of doing business in the Village's downtown.

Approach: Research the impact and feasibility of applying differential rates, or the abatement or rebate of Village imposed fees and charges within the downtown.

Approach: Identify and apply for low cost financing and/or grants which will assist in achieving this Policy.

Objective: Make downtown more accessible to residents and visitors, by integrating parking needs into land use planning and zoning.

Approach: Review such documents in similarly sized municipalities to determine “best practices”, and what has worked in these locales to achieve this Policy.

Approach: Review of Village’s zoning ordinances, subdivision regulations and land use policies and revise such documents, if necessary, to meet this Policy.

Approach: Insure that this consideration is part of the site plan review conducted by the Village.

Objective: Explore the designation of Bethalto’s downtown as an historic district.

Approach: Determine the pros and cons of such a designation.

Goal: Retain small businesses throughout the community.

Objective: Define and/or identify the small businesses in Bethalto and identify their needs.

Approach: Design and implement a survey to identify such businesses and their needs.

Approach: Design and implement actions and activities that address such needs.

Objective: Market small businesses to the Bethalto area, and regional residents.

Approach: Working with the identified small businesses, have the Village develop a Village-wide effort to promote and market these businesses.

Approach: Utilize the current Village-wide promotional events (Homecoming, et al.) to attract participation of, and market, the Village’s small businesses.

Approach: Promote ‘shop local’ as a way to reduce retail sales leakage and promote new business development.

Objective: Recognize small businesses in the Village.

Approach: Provide awards to small businesses based on defined criteria (e.g. the owner’s involvement, business’ benefit to non-profits, civic involvement, unique product/services, years in business, etc.)

Goal: Achieve better design and aesthetics in retail and commercial areas throughout the Village, including these areas' private and public structures, landscaping and signage.

Objective: Acknowledge public and private development and redevelopment projects that are of quality design and aesthetically appealing.

Approach: Organize a Village, or other municipal group to review the design and aesthetics, and make such acknowledgements

Approach: Create awards system, and public Village program(s) for such awards, so that quality design and aesthetics can be recognized.

Goal: Identify areas for light industry, office and retail activity within the Village and promote the development of such activity in these locations.

Objective: Engage in site location studies to identify current, and future, locations suitable for industrial park and business park use.

Approach: Retain professional assistance to undertake such studies and recommend locations for these activities.

Objective: Explore zoning and development incentives to bring this type of activity to Bethalto.

Approach: Explore such incentives in similarly sized and located cities to determine what is available, what has worked, and determine what would likely work in the Village.

Approach: Survey federal, state, county and municipal incentives and programs to discover what is available that is currently not used in the Village and to ascertain what would attract this type of development in Bethalto.

Approach: Discuss zoning and development incentives with developers to aid in determining what will attract this type of development in Bethalto.

Goal: Diversify the employer base in the Village.

Objective: Identify the specific businesses the Village wants to attract.

Approach: Conduct interviews of the Village's existing businesses and establish what these businesses see as new businesses that would be complementary to them.

Approach: Survey Village residents to determine the businesses that they wish to see in the community.

Approach: Research the Village's current and near term attributes and match these attributes with businesses that find such attributes attractive/necessary.

Approach: Create the program to bring such businesses to Bethalto.

Objective: Evaluate locations where the use of Tax Increment Financing (TIF), Business Districts, Enterprise Zones and other economic development programs can assist in redevelopment activities and recruitment of new business to the community.

Objective: Finish development of the Village's existing Tax Increment Financing (TIF) Area and promote the TIF Area and its benefits to a wide range of developers.

Approach: Develop marketing materials for the TIF Area, and a strategy for the use of these materials.

Approach: Identify developers to whom these materials should be sent, and distribute this information to them.

Objective: Actively pursue the development of new TIF areas, Business District Areas, Enterprise Zone designations and other economic development programs through direct negotiations involving the Village, proposed developer(s) and major land owner(s).

Goal: Encourage the creation and expansion of recreation activities and venues that contribute to the economic development of the Village.

Objective: Define and update what is unavailable in the region's provision of recreational activities.

Approach: Conduct surveys, and create a data base, of the region's available recreation venues and the activities/programs they provide.

Approach: Determine what currently unavailable activities/programs could be located in the Village and work to locate them in Bethalto.

Objective: Identify recreational activities and venues that would extend the stay of those visiting the Village.

Approach: Work with the all local entities and citizens active in recreation, to determine such activities and venues and recommend such to the Village for development.

Objective: Market the Village as hotel/motel/restaurant/retailing destination for visitors to major regional recreational activities and venues.

Approach: Identify the major regional activity centers and venues (e.g. Gateway Center, Gateway International Raceway, SIU-E, LCC and the St. Louis Regional Airport etc.) and establish ties with them to promote such activities in the Village.

Approach: Develop marketing and promotional materials for the Village's hotel/motel/restaurant/retailing and provide to the major regional centers and venues.

Objective: Position the current leagues playing in the Village, and other recreational activities in the Village, as the central location for such activities for the smaller communities in close proximity to Bethalto.

Approach: Identify these smaller communities and establish ties with them to promote such activities in the Village.

Approach: Develop marketing and promotional materials for the Village's current leagues and recreational activities and provide these materials to such smaller communities, their recreational organizations and leagues.

Approach: Add directional signage in strategic locations to help promote recreational areas within the Village and to assist folks in finding these areas as well.

Objective: Cross-market recreational events with the Village's retailers and restaurateurs.

Approach: Improve the communication, and develop the means of such communication (periodic meetings, calendars, print and electronic newsletters et al.) between the providers (municipal, other public, school district and private entities) of recreational services and events, and the Village's retailers and restaurateurs.

Objective: Identify, stay current concerning, and work with state and county agencies to secure funding sources to create, and market, recreational activities in Bethalto.

Approach: Periodically review literature concerning these sources and contact state and County agencies to determine what sources are available to Bethalto.

Approach: Determine how to secure such funds and implement activities to do so.

Goal: Improve the local roadway system to enable residents to easily patronize the Village's neighborhood shopping areas and downtown Bethalto.

Objective: Collaborate with County and state agencies regarding the improvements to this roadway system.

Approach: Establish Village-based group to periodically meet with these agencies to insure that the Village's concerns regarding this Objective are taken into consideration in the planning of the County and state roadway system.

Objective: Insure that the Village's 'best practices' for local land use planning of residential development take into consideration roadway system improvements permitting easy accessibility to neighborhood shopping areas and downtown.

Approach: Identify such 'best practices' and educate the Plan Commission on their use to achieve this Policy.

Approach: Enlarge the knowledge base of the Plan Commission concerning the current and potential locations for such neighborhood shopping centers and downtown-like locations.

Goal: Promote and fund economic development efforts, and complementary activities, such as transit, roadways, and other infrastructure.

Objective: Identify local funding sources, and pursue grants and tools that provide funding, for economic development, transportation and infrastructure projects.

Objective: Consider hiring an Economic Development/Community Development Officer to assist in all goals and objectives outlined within the Comprehensive Plan.

Objective: Evaluate current tax structure and propose new programs to raise revenue.

Objective: Develop a wide range of public/private partnerships to achieve this Objective.

## **Section 4.2: Housing**

Goal: Maintain an appropriate, yet diverse range of housing types for existing and future residents of the Village

Objective: Utilize land use regulations and zoning codes to ensure proper types of residential units are located in appropriate areas of the Village.

Approach: Allow single-family homes, multi-family homes, and approved manufactured homes in appropriate areas of the Village.

Approach: Nonconforming houses on nonconforming lots should be protected from mandatory amortization.

Objective: Evaluate housing needs for all age groups in the Village.

Approach: Assess the residential needs of “young families” and college-aged young adults.

Approach: Review the need for multi-family dwellings, including condominiums, duplexes, triplexes and “higher end” apartment complexes.

Approach: Ensure that zoning and other regulations foster the development of owner-occupied residences priced to attract first time home buyers.

Approach: Designate areas ideal for senior living. Housing location is also an important consideration for the elderly. Assisted living communities need to be placed within proximity of medical services, social organizations and transportation options

Approach: Encourage construction of homes that are easy for seniors to navigate. Endorse features that include handicap access, shower bars, seat risers and single-level housing styles.

Approach: Ensure senior housing is affordable. Many seniors live on fixed incomes and need inexpensive energy-efficient housing

Approach: Identify existing/establish programs that will provide money, find funds and/or leverage other investments for development of new residential units that are conducive to attracting first-time home buyers.

Goal: Identify opportunities for housing development.

Objective: Coordinate with land use maps to identify priority locations and properties for housing.

Approach: Identify lots suitable for housing development and market these lots to developers.

Approach: Identify Village-owned properties that could be used for housing development.

Approach: Annex land which may have the potential to be zoned residential.

Approach: Promote the development of affordable rental units within the Village.

Approach: Promote the development of infill housing within the Village.

Objective: Research and implement incentive programs to help with residential recruitment and funding.

Approach: Consider programs available at Madison County Community Development, USDA and other local incentives that could be attractive to new residential development.

Approach: Review potential incentive programs available to encourage in-fill housing needs.

Objective: Identify and coordinate with residential developers.

Approach: Consider providing incentives to developers to create affordable, quality housing.

Approach: Maintain low current building and tap on fees.

Objective: Identify the different residential ownership options, styles, ownership and land use arrangements that exist now or could be permitted in the future.

Approach: Create and update rules / regulations / ordinances (e.g. Planned Unit Development (PUD), Planned Development Residential (PDR), and Planned Development Business (PDB)) for such development and determine locations for such activities.

Goal: Enhance the quality of physical development in the Village's residential neighborhoods.

Objective: Utilize existing building and zoning codes and permits to protect the quality of housing in the Village.

Approach: Consider dedicating more Village resources to inspecting and enforcing Village building and zoning codes in residential neighborhoods.

Approach: Continue periodic inspections of rental property to ensure that residential units meet all appropriate building and life safety codes.

Approach: Continue the use of occupancy permits and update policies annually.

Approach: Strictly enforce the rules and regulations pertaining to the number of vehicles per residence parked on streets, driveways, and yards.

Objective: Consider implementing new building and zoning codes and permits to promote the quality of residential units in the Village.

Approach: Identify, and evaluate ordinances and regulations in existence currently or in other communities which have successfully enhanced the quality of physical development in residential neighborhoods for their applicability to Bethalto.

Approach: Upon such evaluation, establish guidelines for residences which have enhanced the quality of their homes and/or lots and create awards to recognize such efforts.

Objective: Use building codes to promote various architectural styles in new residential developments.

Approach: Review current subdivision regulations to insure a minimum requirement of various housing options and types within any new residential subdivision development.

Approach: Create and use regulatory tools to insure that the appearances of residences are not monotonous (e.g. “anti-monotony ordinances” and/or architectural Review Board).

Objective: Encourage efforts to provide for rehabilitated residential development.

Approach: Identify programs that are available to assist housing owners in remodeling, redeveloping, or bringing their units up to code, and assist owner-occupants in pursuing these programs.

Approach: Create and promote a “Building Facade Improvement Program” to encourage downtown residential property owners to upgrade the appearance of their properties.

Goal: Promote attractive housing options with a high quality of life.

Objective: Explore options and programs to protect and promote the quality of life in the Village.

Approach: Create a welcome package for potential new residents that include community information about schools, real estate contacts, civic organizations, home builders, local businesses and other information.

Approach: Consider planning and assisting the development and promotion of neighborhood watch groups within the Village of Bethalto.

Approach: Maintain vacant lots in residential areas and consider alternative uses for those lots such as community gardens or mini-parks.

Approach: Preserve the integrity of residential neighborhoods by enforcing zoning and nuisance ordinances. Review and update ordinances as necessary to guarantee that emerging problems are addressed in a timely manner.

Approach: Encourage homeowners and landlords to maintain and upgrade their properties.

Approach: Maintain and create a safe pedestrian friendly environment in residential neighborhoods.

Approach: Promote high energy efficiency standards for rehabilitation of existing housing units and new home construction.

Approach: Perform a Village assessment of structures that meet criteria for being a threat to the community's health, safety or welfare and take necessary actions to begin their removal.

### **Section 4.3: Infrastructure and Village Services**

Goal: Adequate utility services will be provided to developed areas of the Village.

Objective: New developments shall be provided with public water, sewer, and natural gas services.

Approach: All new utilities (except electric facilities exempted by the zoning ordinance) shall be placed underground.

Approach: As water and sewer mains are installed, they shall be sized to accommodate anticipated development, and not to just meet current requirements.

Approach: As development occurs, developers shall be required to extend water and sewer mains through their property to ensure that adjacent properties can tie into these services in the future.

Goal: Ensure the Village's ability to provide adequate and safe collection and treatment of storm water and sanitary waste in the future.

Objective: Determine whether the existing ordinances pertaining to storm water and sanitary sewers are consistent with contemporary "best practices" for the management of such systems.

Approach: Review the Village's current storm water management ordinances (and procedures) to ensure that they are aligned with the most recent County, State, and Federal guidelines; and pursue adoption of new ordinances and procedures, as necessary.

Approach: Keep abreast of new technology and "best management practices" through ongoing training of sanitation and stormwater personnel.

Approach: Have sanitation and stormwater personnel report their findings to the Village Board, Planning Commission, or other appropriate bodies concerning “best management practices” and recommend ordinance changes that would incorporate these practices.

Approach: Ensure that legacy stormwater challenges are identified and addressed in future Bethalto budget authorizations.

Objective: Plan for future treatment needs, and maintain existing treatment facilities.

Approach: Identify the current treatment needs for stormwater and sanitary sewer facilities while creating a funding, and maintenance plan for such facilities.

Approach: Systematically and periodically review the Village’s existing land uses, zoning and decisions pertaining to future land uses, and take these issues into account when planning for future treatment needs.

Approach: Create a capital improvement process to prioritize capital improvements, determine their impact and interrelatedness with land use planning, and identify funding for the elements of the improvements that arise from this process.

Approach: Extend parallel interceptor sewer to Moro and Meadowbrook connectors.

Approach: Integrate flow meter with Parshell Flume to prevent inaccurate surcharge readings.

Objective: Reduce sanitary sewer infiltration

Approach: Continue to smoke test areas for infiltration and illegal hookups to sewer system.

Approach: Repair or replace aging sewer collection systems as identified.

Goal: Update and improve water distribution system.

Objective: Replace existing water meters with radio-read meters.

Objective: Implement unaccountable water usage records to improve efficiency of water treatment plant.

Objective: Replace aging cast-iron 2' and 4" water lines with 6" PVC to improve fire protection and customer service pressure.

Objective: Identify and implement a plan to increase potable water production capacity for the area served by the Village.

Approach: Continue review and update of engineering needs analysis plans.

Goal: Enable Bethalto's citizens and businesses to access the most current communication systems (internet, telephone, etc.)

Objective: Ensure all providers of such services are given an opportunity to serve the Village and its extraterritorial areas.

Approach: Identify and secure adequate right-of-way to serve the future needs of such current, and future, technologies.

Objective: Stay up to date on "the most current communication systems" and work with the private side to ensure that such systems are available to the community.

Approach: Explore what technologies are current and under development; identify what conditions need to be present in order for Bethalto to receive those technologies and achieve/secure these conditions.

Goal: Identify, meet and maintain the Village's infrastructure needs.

Objective: Continue to upgrade and improve streets and sidewalks in older neighborhoods.

Approach: Identify the Village's "older neighborhoods" and make sure Village's capital improvement program is cognizant of such areas and their street and sidewalk needs.

Approach: Create street/sidewalk task force to provide input as to where such improvements are needed, and where improvements could include bicycle and jogging lanes.

Objective: Identify highway and bridge construction activities which will impact residents travel time and take steps to mitigate negative impacts of such activities.

Approach: Gather and disseminate information about the purpose, location, completion dates and alternative routes for such construction.

Goal: Preserve and improve the Village's convenient access to and from the interstate highway system and the region's major arterial roadways.

Objective: Promote and maintain close communications with the Illinois Department of Transportation.

Approach: Maintain working relationship with state and federal elected officials to seek funding to maintain and improve ( i.e. the center turn bridge at State Highway 140, State Highway 111 and Illinois Route 255) Bethalto's interstate accessibility.

Objective: Examine and participate in the design of any redeveloped, or newly developed, interchanges/intersections which directly affect the interstate highway system and the major arterial roadways serving the Village.

Approach: Develop and maintain an active relationship with state and federal agencies which determine such programs for all such highways and roadways in order to ensure that the Village is fully involved in the decision making regarding such development and redevelopment.

Approach: Continue involvement in the planning process for the I-255 Corridor.

Approach: Identify, and work with, the appropriate agency, and work with the impacted users and land owners, to explore and resolve issues which affect this Policy.

Approach: Consider beautification efforts of all Village points of entry.

Objective: Promote and support transportation concepts which will accommodate future/planned growth patterns in and around the Village.

Approach: Work with the Future Land Use map to identify these patterns and devise transportation concepts which will accommodate, and promote this pattern.

Goal: Traffic circulation within the Village will be enhanced through maintaining an adequate street system.

Objective: An overall road plan will be prepared by the Village to depict future roads and improvements to existing roads.

Approach: Continue to utilize the I-255 Corridor Study to assist in Transportation analysis.

Objective: As developments are connected to the existing street system, care shall be exercised to ensure that the existing streets are adequate to handle increased traffic.

Approach: Developers shall assist in road improvements by dedicating rights-of-way and constructing and/or improving roads leading to and abutting their developments.

Approach: Two or more access points shall be required for new developments when necessary to ensure that adequate access is provided in case of emergencies.

Approach: Interconnected streets shall be provided between adjacent subdivisions and other developments to promote the efficient circulation of traffic.

Approach: As developments are platted, stub streets shall be provided to connect the development with adjacent undeveloped properties.

Objective: Areas with considerable through traffic shall be reviewed to determine whether traffic calming should be implemented.

Approach: Access control techniques along major streets and highways should be identified.

Objective: Minimum roadway, right-of-way, and shoulder standards shall be prepared by the Village for determining traffic circulation improvements to be constructed by developers.

Approach: The use of interconnected parking areas between adjacent commercial developments shall be used to facilitate safe traffic movements.

Objective: Reduce traffic congestion in the Village's major commercial areas.

Approach: Investigate and resolve roadway, right-of-way and land use characteristics that impact congestion.

Approach: Create a congestion management plan, taking into account the terminal boundaries of the Village and the projected revenue that

will be allocated to create the infrastructure needed to serve the ultimate service area of Bethalto.

Approach: When reviewing development proposals, take into consideration how the development will impact congestion on specific roads, and whether such impact is harmonious with an overall congestion management plan.

Goal: Improve overall street maintenance

Objective: Improve the quality of roads by implementing and replacing oil and chip road with hot mix asphalt paving.

Approach: Identify those roads in need of replacement and prioritize by need.

Objective: Continue to build curb and gutter in areas that are currently served by ditch and culvert systems.

Approach: Identify those areas in need of replacement and prioritize by need.

Goal: Significantly improve the aesthetics of existing and future Village owned rights-of-way.

Objective: Examine the aesthetic amenities that exist in other communities for possible use in Bethalto including, but not limited to; curbing, crosswalks, street trees, street lighting, monuments and the like.

Approach: Identify and visit other communities of a similar size that are known for attractive right of ways, and review their ordinances, and procedures for such aesthetics.

Approach: Explore the possibility of improving aesthetics by requiring that (all) utilities in commercial areas be underground.

Objective: Develop standards to guide the aesthetic improvement of the Village-owned rights of way.

Objective: Periodically re-evaluate and update what types of aesthetic improvements (including visual amenities) that the Village desires in its rights-of-way.

Approach: Include community input from Bethalto's residents and business owners in re-evaluating and updating the aesthetics in the right-of-way for future, as well as existing development.

Goal: Ensure that mass transit serves the Village in a manner that encourages ridership and makes the Village a destination, or terminal, for mass transit serving the County/metropolitan area.

Objective: Work with Madison County Transit Authority to increase the number of parking spaces in “Park-N-Ride” lots.

Approach: Explore the parameters that Madison County Transit requires to justify creating new parking spots at any existing lot and/or create a new Park N’ Ride lot.

Objective: Integrate locations of mass transit lines and stops with concentrations of residential development, employment centers, major commercial development and Bethalto’s downtown.

Approach: Investigate the factors and conditions Madison County Transit or paratransit providers need in order to justify making additional stops inside Bethalto.

Goal: Make travel within and between neighborhoods, and to neighborhood commercial centers, safer and more efficient.

Objective: Actively promote the development of additional sidewalks and bike trails within the Village.

Approach: Identify and prioritize where sidewalks and trails are needed, or would be the most beneficial.

Approach: Pursue public and private development and funding of sidewalks and bike trails in the Village and surrounding areas.

Goal: Provide community facilities and services that enhance the quality of life in Bethalto and make the community an attractive place for residents and businesses.

Objective: Provide high quality Law Enforcement.

Approach: Continual training of Officers to keep updated on new and changing laws, and ways to approach crime.

Goal: Promote safety within neighborhoods, schools and businesses.

Objective: Maintain 24 hour police protection to the Village.

Approach: Increase the Officers patrolling on a shift from two to three. This would require hiring an additional four to six officers to meet those goals.

Approach: Increase the School Resource Officer program by one Officer, to allow for one in the middle school and to assist with the primary schools.

Approach: Increase the support staff of one part-time Administrative Assistant back up to two full-time Administrative Assistants. This will allow the Department to keep the necessary records, reports and day in/day out functions of the Department up to standards.

Approach: Establishing a neighborhood watch program for the residents and develop one for business owners as well.

Objective: Upgrade currently owned police equipment and vehicles to assist in providing services.

Approach: Purchase or lease two vehicles minimum each year for proper rotation.

Approach: Purchase additional surveillance equipment for the entire Village Hall. Most of the cameras are original to the Police Department and are in need of updating. More cameras would be desired to adequately provide coverage around the entire building, the Public Works Building and portions of the Village Park. Pan/tilt/zoom cameras around the corners of the building would assist with that coverage and during times of events in the park.

Approach: Purchase of a portable utility trailer to assist with storage of necessary equipment needed for traffic control during crisis events, public events and D.U.I. enforcement. Equipment to be purchased and stored would be additional traffic cones and barricades.

Approach: Purchase of a digital fingerprinting system to allow officers in the processing of arrestees in a timely manner. This will also aid in the reporting and identification of criminals, along with modernizing our current ink system.

Objective: Necessary computer hardware and software upgrades. Microsoft Windows XP is currently the operating system and will be phased out by Microsoft causing several changes to our systems. The State of Illinois

desires to eliminate their accident or crash reporting system, requiring Police Department to absorb the burden.

Approach: Purchase new computers, both desk top style and laptop style. Update the operating systems with the new Windows systems, which will also include updates to the Lawman Reporting software. Lawman is already working on an inclusion of crash reports into their system. This will not be an easy task, but one which must be done.

Objective: Upgrade the rear parking lot area to include a canopy or cover for the island.

Approach: Developing a canopy or cover for the island parking area will help the Department keep the vehicles in better condition and out of the elements. This should increase the durability of the fleet, as well as provide an attractive look to the rear parking lot area.

Objective: Building or facility upgrades.

Approach: Even though the building is only 16 years old, the Department would like to see some upgrades to assist in Village expansion and modernization. Upgrade to the interview rooms and recording equipment would be needed. An addition to the south wall of the building, by the booking area and Sally Port should be considered. The addition would house a drive through Sally Port to enhance the security of arrested persons, along with needed storage.

Approach: Build a holding facility for animals, with a possible location of the facility to be inside the Village work area off Albers Lane. Currently a small cage located inside the Sally Port and on occasion an animal is held for a few days inside there, pending reunification or being sent to Madison Co. Animal Control. The facility could handle a pen and small houses for the temporary holding in a more humane way.

Goal: Seek to obtain a better ISO Rating.

Objective: Develop a Plan to obtain a better ISO rating.

Approach: Continue implementation of a Fire Inspection/Pre-Planning Program and encourage staff to maintain data.

Approach: When reviewing development proposals, take into consideration how the development will impact congestion on specific roads, and whether such impact is harmonious with an overall congestion management plan.

Goal: Consider Fire Station distribution and concentration to ensure adequate fire suppression coverage.

Objective: Consider expansion of existing Fire Station to provide for areas for firefighters to train and rest after responding to calls. This will also address lack of storage space for auxiliary equipment, records, and necessary office space. Current station bays will not fit certain new apparatus, thus will need to be expanded in the future.

Objective: Construction of a second Fire Station as this will not only help Village response, but will be required for the Village's ISO rating. Additionally, this will help cover the west side of the Village.

Approach: Consider funding resources for expansion of existing station and construction of new fire station.

Approach: Consider locations for new station construction.

Goal: Ensure fire department apparatus remains in good operating order.

Objective: Establish an apparatus replacement schedule according to The National Fire Protection Agency (NFPA).

Approach: Refurbish an apparatus after ten years of service.

Approach: Replace apparatus after twenty years of service.

Approach: Replace command vehicles every five to seven years.

Approach: Replace utility vehicles based upon physical condition.

Approach: New Aerial Ladder truck will need to be purchased.

Objective: Ensure that new motor vehicles purchased for the City are those that offer alternative fuel usage.

Objective: Improve and update all Fire-related capital equipment.

Approach: Implement the use of an aerial device.

Approach: Improve computer systems to assist in record keeping and becoming more efficient, as well as improve the billing system.

Approach: Replacement of Air Cascade System and replacement of Self-Contained Breathing Apparatus.

Approach: Upgraded Vehicle Extrication Systems is necessary as are a new Fire Exhaust System within the Fire Station.

Goal: Increase Fire Department Staff and Expansion of Emergency Medical Services

Objective: Village to consider commitment to more full-time firefighters to handle daily emergencies.

Approach: Consideration to be given to help improve ISO

Approach: Explore funding mechanisms to assist in paying for new staff.

Approach: Consider the commitment to more part-time staff in interim.

Approach: Increase efforts to assist in recruiting more volunteer firefighters and in efforts to retain current volunteers.

Objective: Consideration of implementation of Village-operated ambulance service, which could assist in revenue generation and greater response times.

Goal: Expand fire training facilities

Objective: Explore funding mechanism to expand current training rooms

Approach: Seek donations from Village funds and local volunteer efforts.

Approach: Consider establishing a regional program with other area fire departments and local utilities to construct this facility and share its costs and benefits.

#### **Section 4.4: Land Use**

Goal: Residential land to house existing and future residents of the Village will be provided in appropriate areas of the Village and surrounding area.

Objective: The Village shall maintain the current mix and percentages of housing types (i.e. single-family detached, duplex, multiple-family, etc.) within the Village.

Objective: Residential developments shall maintain a good ratio between building size and lot size with large lots provided for large buildings.

Objective: Efforts to properly maintain the older areas of the Village shall be implemented.

- Objective: Sidewalks shall be provided on at least one side of each street in new residential developments except that the sidewalks may not be required along cul-de-sacs based on the length and characteristics of the cul-de-sac.
  - Objective: Old sidewalks should be replaced after streets are improved and new sidewalks should be added to one side of the improved street in areas without sidewalks.
  - Objective: New multi-family developments shall locate dumpsters at the rear of the development rather than in front of buildings, and existing multi-family developments shall move dumpsters to the rear or provide screening for such dumpsters.
  - Objective: Create more living options for current and future residents of the Village of Bethalto.
- Goal: Appropriate areas adjacent to the Village will be annexed to ensure appropriate future growth areas for the community.
- Objective: Areas west of the Village, particularly areas adjacent to the extension of Illinois Route 255, should be considered for immediate annexation.
  - Objective: Areas east, north, and south of the Village should be carefully considered for future annexation.
    - Approach: Identify areas of land that are deemed to be desirable for annexation or development.
    - Approach: Establish general costs of providing Village infrastructure into such areas, and methods of funding such work.
- Goal: Downtown should be promoted and protected as an important commercial center of the Village.
- Objective: The Village shall continue to encourage the location of public buildings downtown.
  - Objective: Additional parking should be located downtown in a joint effort between the Village and downtown merchants.
  - Objective: The “walkability” of downtown Bethalto should be preserved and promoted.
- Goal: Trees will be maintained as an important Village feature.
- Objective: Mature trees in the Village shall be preserved and new trees shall be planted to enhance the existing wooded areas and to replace mature trees that are removed.

- Objective: Tree-lined streets shall be provided throughout the Village.
- Objective: Appropriate trees will be planted along streets to ensure that a sufficient clear trunk height is maintained.
- Objective: A list of appropriate trees will be maintained by the Village for planting along streets, including decorative trees in areas with overhead utility lines and hard wood trees in new areas.
- Objective: The methods for tree planting shall be accomplished to inhibit interference with water and sewer mains, and overhead utility lines.
- Goal: Utilize future land use maps and zoning ordinances to guide development in the Village.
- Objective: Create Future Land Use map consistent with the Village's ability to service existing and new development.
  - Approach: Focus new commercial development along main thoroughfares throughout the Village.
  - Approach: Focus new Residential development to more undeveloped portions of the Village.
- Objective: Create clear and effective building and zoning codes that support community intentions for maintaining and enhancing the Village's small town character.
  - Approach: Establish zoning ordinances in order to prohibit noxious activities that are incompatible with current land uses, and require permits for any activities not outlined in the zoning code.
  - Approach: Consider new mixed use zoning designations.
  - Approach: Promote infill development on undeveloped lots within the Village boundary before annexing new land for development.
  - Approach: Encourage contiguous development with lowest cost extension of transportation, sewer and water.
  - Approach: No development will be permitted in a floodplain.
  - Approach: Require a drainage plan for any new development or construction plan. No new construction should be allowed to exacerbate current drainage problems in the Village.
  - Approach: Utilize consistent policies and implementation tools that provide equity and fairness to landowners while preserving public health, welfare, and the community character.

Goal: Decision making at the Village level must be particularly cognizant of the interrelatedness of land use planning and transportation planning as it relates to residents' travel time to access everyday necessities.

Objective: Continue to support the Village and its Planning Commission in order to assist one another in making decisions that are consistent with the Village's goals, objectives, and future land use plan.

Approach: Consider having a Village official or representative attend planning commission meetings to improve communication and coordination with decision making as it relates to the Village's goals, objectives, and future land uses.

Objective: Evaluate impacts of current and future land uses and future development patterns when making decisions on transportation projects.

Approach: Monitor traffic counts and study current traffic patterns to determine the need for improved (new or upgrade of existing) roads within the Village.

Approach: Evaluate commercial and residential growth patterns to anticipate best location for future investment in transportation improvements.

Approach: Determine efficiency of traffic signalization to meet current and future land use development plans.

Objective: Send representatives to land use planning, and/or transportation workshops to understand current best practices that address this concern.

Approach: Identify workshops and seminars for selected representatives to attend, and fund the necessary registration and participation costs for Village representatives.

Objective: Periodically review the I-255 Corridor Study, St. Louis Regional Airport Strategic Plan and Madison County Comprehensive Plan, staying current on these and similar studies and plans.

Approach: Identify, and keep current on pertinent planning meetings related to such studies and plans that will have an impact on Bethalto's livability and insure that Village representatives attend, and report to the Village concerning such meetings.

Goal: The intersection of Illinois 255, Route 111, Route 140 and Moreland Road should be promoted as a prime commercial zone of the Village.

Objective: Focus on interchange and creation of "Destination Interchange".

Approach: Create a Planned Unit Development (P.U.D) in order to limit the allowable uses around the interchange.

Approach: Consider alternative Zoning standards to meet developer and Village needs.

Approach: Develop a list of development standards to ensure desired aesthetic feel is created.

Approach: Implement incentive programs (Tax Increment Financing, Business District, etc.) where appropriate for the Village, specifically around the interchange and surrounding area.

Objective: Create Mixed-Use development along interchange area.

Approach: Zone for Commercial land use along immediate exit travel pathways.

Approach: Further along exit pathways, zone for Mixed-Use Commercial/Retail.

Approach: Slowly give way to strictly residential zoning at end of exit travel pathways.

Approach: Ultimately create an inclusive neighborhood where necessities can be reached without having to travel through congested thoroughfares into the Village.

#### **Section 4.5: Livability**

Goal: Make Bethalto a distinctive and attractive “livable” community, possessing a strong sense of place.

Objective: Increase cultural and arts activities within the Village limits of Bethalto.

Approach: Identify and organize Village-wide arts events in a way as to provide opportunity for families and individuals of all age cohorts to participate.

Approach: Focus on bringing cultural and arts activities to the downtown area by instituting a historical museum.

Approach: Create design guidelines and approval criteria for locating and painting murals in the downtown.

Approach: Endorse local artistic talent through the continued support of community band performances and singing competitions that feature local artists.

Objective: Encourage “wowing appearance” initiatives and investments by both the public and private sectors.

Approach: Create “Bethalto Progress Community Improvement Board” to consult with the Chamber of Commerce, church and similar groups, and other organizations interested in establishing “wowing appearance” initiatives and investments.

Approach: Make arrangements with the Madison County Sheriff’s Work Alternative Program (SWAP) to provide labor for such initiatives.

Approach: Identify and coordinate participants for the Illinois Adopt-A-Highway Program”, to pick up litter along an assigned section of highway in Bethalto.

Objective: Identify, monitor and participate in the solution to regional issues that threaten the safety of the community.

Approach: Discover those local, county and state agencies, and other organizations, that exist to address such issues, and participate in them and their decision making.

Approach: Update the Emergency Disaster Plan for the Village, and coordinate this activity with neighboring cities and emergency preparedness agencies.

Approach: Continue involvement in the Madison County Hazard Mitigation Plan.

Objective: Promote and support community events related to public safety initiatives.

Approach: Implement CERT, “Community Emergency Response Team” Program.

Approach: Design and promote, on a formal and periodic basis, safety initiatives (random car seat safety checks, “identity theft” classes, gun safety classes, opportunity to have children fingerprinted) in the community.

Objective: Modernize signs, billboards, and any other public and private forms of notifications and outdoor advertising throughout the community.

Approach: Review and strengthen sign ordinance to, in particular, establish deadlines for temporary signs, and require registration for all types of signs publicly displayed.

Objective: Update and enforce codes that affect physical appearance such as streetscapes, Village gateways, and public buildings.

Approach: Review current codes that relate to streetscapes, Village gateways, and public buildings; determine which codes are outdated vis-à-vis the Village's Comprehensive Plan and update codes to be consistent with Plan.

Approach: Develop new codes that would enhance the physical appearance of the Village's streetscapes, Village gateways, and public buildings.

Approach: Devise a system that monitors the code enforcement process and evaluates the physical appearance of existing and new improvements.

Objective: Work with the Illinois Department of Transportation to allow for enhancements on state right-of-ways in, and in the vicinity of, the Village.

Approach: Work with IDOT and other public and private entities to improve existing landscaping, and provide for its placement in the future, along highways and major thoroughfares leading into and through the Village

Approach: Coordinate with IDOT for construction of specific enhancements desired by the Village, (potentially, IL Route 255)

Goal: Focus on creation and expansion of parks and recreation options.

Objective: Expand the availability of recreational programs for adults.

Approach: Determine availability of land acquisitions for recreational and parking areas.

Approach: Create a pavilion area and increase the availability of picnic tables in recreation areas.

Approach: Create programs to utilize existing recreational facilities, i.e. baseball/softball leagues.

Approach: Build quality recreation programs that will meet the needs of a diverse population (children, youths, seniors).

Approach: Find effective ways to advertise and attract participants to Village and District sponsored recreation activities.

Goal: Increase the amount of open space/green space accessible to Village residents.

Objective: Insure that new areas of development have green spaces incorporated in their planning and development.

Approach: Provide options to developers to contribute funds and/or land to future "open space" development.

Approach: Purchase and demolish buildings in disrepair and convert vacant lots into usable and accessible open space/green spaces as they become available near areas of development.

Approach: Allow for both active and passive type green spaces during planning and construction stages of development.

Approach: Review the Village's zoning ordinances and subdivision regulations to insure that they adhere to this Policy and permit and encourage such development.

Objective: Develop open space for activities in the Downtown area.

Approach: Develop open space for large-crowd activities, including the farmer's market, flea market, community festivals, craft fairs, concerts, barbecues, parades, vigils, and statewide events.

Approach: Create open space that is flexible in order to provide recreational opportunities for playing children and working professionals.

Approach: Create open spaces that are better suited for public meeting sites.

Goal: Insure proper safety and maintenance of the existing parks and recreation facilities.

Objective: Improve safety and sense of security for park users

Approach: Develop a plan to monitor parks, including expanded police and park ranger presence.

Approach: Remove and replace outdated play equipment.

Approach: Add soft-fall surfacing around play equipment.

Approach: Provide greater separation between facilities designed for older kids and play areas geared to younger kids.

Approach: Replace select equipment and facilities to maintain functionality.

Approach: Continue to enhance barrier-free access to park facilities.

Approach: Consider installation of additional lighting at high-use park areas and along pathways.

Objective: Improve the maintenance of the existing parks and recreation facilities and property.

Approach: Initiate a playground equipment maintenance inspection program.

Approach: Improve and maintain green-space, especially those areas around parks and recreation areas.

Approach: Make improvements to the community pool and adjacent areas.

Approach: Install cameras or other precautionary devices to reduce vandalism in park and recreation areas.

Approach: Install additional trash receptacles, including screened enclosures for trash.

Approach: Schedule more frequent trash pick-up in heavy-use parks.

Approach: Install additional trees to provide shade, improve overall aesthetics, and replace ash trees.

Goal: Consider the creation of a Parks and Recreation District.

Objective: Conduct a study to determine feasibility, facilities, estimated costs and profitability of having a Parks and Recreation District and staff.

Approach: Create a five year plan identifying goals and determining development and implementation costs as well as programs and program costs associated with the implementing this district.

Approach: Work on identifying funding sources and obtaining funding to accomplish the development of such facilities, activities and programs.

Approach: Encourage Village participation with the Board in determining the services and activities that would be made available.

Goal: Encourage citizens and elected officials representing the Village to recognize and participate in the decision making regarding regional issues (such as water quality and other resource issues, transportation and other planning issues, crime prevention and other public safety issues) that impact the Village.

Objective: The Village's appointed and elected officials will endeavor to stay informed on and about regional issues.

Approach: Create a "Citizen Panel" of persons in the Bethalto community concerned with regional issues to meet and advise Village officials on a periodic basis, with regard to these issues.

Approach: Identify forums and committees that address regional issues and appoint Village officials and/or representatives to attend these groups' meetings.

Objective: Enhance communications between the Village and County/St. Louis Regional Airport.

Approach: Schedule an annual meeting to enable the County Board and St. Louis Regional Airport and Village officials to inform one another of each other's current and future plans and concerns.

Approach: Appoint a representative from the Village to attend St. Louis Regional Airport and make official report specifying issues and discussions pertinent to the development of Bethalto.

Goal: Make Bethalto a pedestrian friendly community.

Objective: Identify current, and plan for future pedestrian corridors.

Approach: Determine the efficacy of planning and constructing future pedestrian corridors in areas where schools and new subdivisions are located or planned to be constructed.

Approach: Devise a sidewalk connection program that identifies the lack of connectivity of sidewalks throughout the Village and develop plans to connect major activity generators.

Objective: Make pedestrian corridors safe and more inviting to users.

Approach: Create an aggressive “sidewalk construction” program, identifying where to construct additional sidewalks (and improve landscaping).

Approach: Add additional lighting in neighborhoods to improve safety and visibility for residents walking at night.

Approach: Develop and dedicate a specific funding source to achieve this Policy.

Objective: Encourage “walkability” in the Village by locating potential pedestrian generators (housing, retail, schools, and libraries) within an easily accessible and safe distance of one another.

Approach: Plan for block by block sidewalk connections in all neighborhoods to encourage walkability.

Approach: Produce maps depicting safe places to walk near residential communities, schools, shopping areas, and public service buildings.

Approach: Incorporate the “walkability” policy into planning and decision making regarding future land use in the Village.

Objective: Create a streetscape that better serves pedestrians, bicyclists, transit riders, and automobile users.

Approach: Solicit input from all such users to identify additions and changes to the Village’s streetscape plan.

Approach: Closely adhere to the Bike Trail Comprehensive Plan which identifies future bicycle trail opportunities throughout the Village.

Objective: Preserve open spaces, parks, and green spaces for pedestrian activity.

Approach: Insure the preservation of all parks for pedestrian activity.

Approach: Identify and reserve locations for future parks, and insure their accessibility by, and for pedestrians.

Approach: Encourage Metro East Park District and Madison County Transit to work with park officials to design, build, and manage green spaces and biking trails.

Goal: Promote community wellness as a goal of the “enviable Village”.

Objective: Encourage community wellness programs to engage the residents in activities that lead to healthier lifestyles.

Approach: Endorse and have Village participation in community health fairs, seminars, education and training on health issues for all citizens.

Objective: Plan and assist the development and promotion of neighborhood watch groups within the Village of Bethalto.

Approach: Continue to support Bethalto Police Department in the creation, and funding of the “Neighborhood Watch Group.”

Goal: Provide opportunities for college age persons, and the “young families” cohort, to live, work and play in the Village.

Objective: Identify likely employment opportunities for this cohort.

Approach: Identify employment opportunities, within an approximately 10-20 mile radius of the Village, and devise and implement a marketing strategy for this cohort.

Approach: Research opportunities to invite outlet retailers to locate in the Bethalto area creating jobs and places to shop for college age persons and young families.

Approach: Encourage employers to provide college internship opportunities to aid in persuading this cohort to reside in Bethalto.

Objective: Identify, create, and promote recreational and cultural facilities targeted to this cohort.

Approach: Continue to support and manage facilities used for current sport programs.

Approach: Research such activities and facilities (including art festivals, bowling alley, roller skating rink, movie theatre, live theatre, etc.) and market those found to attract this cohort to potential developers of such facilities.

Objective: Provide community outreach to college students and graduates to (re)attract them to Bethalto.

Approach: Sponsor job fairs on a regular basis to attract college students to the Village.

Approach: Identify and utilize LCCC and SIUE resources to market employment opportunities to college graduates looking to reside in a small progressive town.

Approach: Sponsor a "Graduate Tracking Program" in which the Village and School District remain in contact with recent graduates and continue to market Bethalto, and job opportunities to them.

Objective: Evaluate the different housing options/styles that cater to the lifestyle of persons in this particular cohort.

Approach: Assess the housing needs, requirements and desires of college age students and/or young families, and actively seek out developers to meet these needs.

Goal: Maintain Bethalto's "small town" feel and character, while creating the advantages of an "urban place" for its residents.

Objective: Continue to position the Village as one of Illinois's safest Cities.

Objective: Continue to support small town festivals within the Village.

Approach: Use tourism funds to build and sustain community wide events

Objective: Review proposals, suggest changes which achieve, and permit development based on projects' ability to attain small town feel and character, while providing the advantages of an "urban place."

Approach: Devise construction and design standards for new developments, and renovation of existing buildings, that preserve the small town character and promote the positive aspects of "urban place".

Approach: Evaluate current review criteria of development proposals made to the Village, and make necessary modifications of these criteria to achieve this Policy

Objective: Promote residents meeting their shopping, dining, business, and banking needs in town.

Approach: Design and institute a “Look Here, Buy Bethalto First” program to encourage residents and businesses to support the local economy.

Approach: Inform residents of the existence and location of “in town” businesses through the initiation of an awareness campaign that focuses on educating residents on the opportunities and benefits of supporting the businesses in Bethalto.

# Appendix A



## Appendix A: Data Sources

### Chapter One:

#### *Figure 1.1-1: Bethalto Quick Facts*

- "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data (DP-1): Bethalto village, Illinois". U.S. Census Bureau, American FactFinder
- "US Gazetteer files: 2010, 2000, and 1990". United States Census Bureau. 2011-02-12.

### Chapter Two:

#### *Map 2.1-1: Village Location*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Service Layer Credits: Esri, DigitalGlobe, GeoEye, USDA, USGS

#### *Figure 2.2-1: Population Statistics*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Madison County, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2000 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2000 Demographic Profile Data: Madison County, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2000 Demographic Profile Data: Illinois". U.S. Census Bureau

#### *Figure 2.2-2: Population Growth*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Madison County, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2000 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2000 Demographic Profile Data: Madison County, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2000 Demographic Profile Data: Illinois". U.S. Census Bureau

#### *Map 2.2-1: Population Growth by County*

- American FactFinder, "State and County QuickFacts". U.S. Census Bureau
- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Service Layer Credits: Esri, DigitalGlobe, GeoEye, USDA, USGS

#### *Map 2.2-2: Population Growth by Place*

- American FactFinder, "State and County QuickFacts". U.S. Census Bureau
- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Service Layer Credits: Esri, DigitalGlobe, GeoEye, USDA, USGS

*Figure 2.2-3: Race and Ethnicity*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau

*Figure 2.2-4: Age Distribution*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau

*Figure 2.2-5: Gender Distribution*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau

*Figure 2.3-1: Indexed Population Trends 1970 Census to 2018 Projections*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau
- Claritas SiteReports, "Pop-Facts: Census Demographic Overview 2013 Report". The Nielsen Company

*Figure 2.4-1: Households*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau
- Claritas SiteReports, "Pop-Facts: Census Demographic Overview 2013 Report: Bethalto village" The Nielsen Company
- American FactFinder, "Selected Historical Decennial Census Population and Housing Counts: Bethalto village, Illinois". U.S. Census Bureau

*Figure 2.4-2: Indexed Household Growth 1980 Census to 2018 Projections*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau
- Claritas SiteReports, "Pop-Facts: Census Demographic Overview 2013 Report". The Nielsen Company
- American FactFinder, "Selected Historical Decennial Census Population and Housing Counts: Bethalto village, Illinois". U.S. Census Bureau

*Figure 2.4-3: Vacancy Rates 2010*

- American FactFinder, "General Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau
- American FactFinder, "General Housing Characteristics: 2010 Demographic Profile Data: Troy city, Illinois". U.S. Census Bureau
- American FactFinder, "General Housing Characteristics: 2010 Demographic Profile Data: Madison county, Illinois". U.S. Census Bureau
- American FactFinder, "General Housing Characteristics: 2010 Demographic Profile Data: Illinois". U.S. Census Bureau

*Figure 2.4-4: Household Composition 2010*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau

*Figure 2.4-5: Households by Type*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau

*Figure 2.4-6: Housing Unit Age by Year Built*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau"

- American FactFinder, "General Population and Housing Characteristics: 2010 Demographic Profile Data: Madison County, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Illinois". U.S. Census Bureau

*Figure 2.4-7: Owner Occupied Home Values*

- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Bethalto village, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Madison County, Illinois". U.S. Census Bureau
- American FactFinder, "Profile of General Population and Housing Characteristics: 2010 Demographic Profile Data: Illinois". U.S. Census Bureau

*Map 2.4-1: Residential Parcels*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.5-1: Street Network by Street Type*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Illinois Technology Transfer Center; 2012 Highway Data: Madison County; Illinois Department of Transportation.

*Map 2.5-2: Traffic Counts by Street Type*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Illinois Technology Transfer Center; 2012 Highway Data: Madison County; Illinois Department of Transportation.
- Service Layer Credits: Esri, DigitalGlobe, GeoEye, USDA, USGS

*Map 2.5-3: Street Type and Land Use*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Illinois Technology Transfer Center; 2012 Highway Data: Madison County; Illinois Department of Transportation.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.5-4: Future Transportation Improvements*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Illinois Technology Transfer Center; 2012 Highway Data: Madison County; Illinois Department of Transportation.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Figure 2.6-1: 2011 Household Income (Inflation Adjusted) by Percentage of Total Households*

- Claritas SiteReports, "Pop-Facts: Household Quick Facts 2013 Report: Bethalto village" The Nielsen Company
- Claritas SiteReports, "Pop-Facts: Household Quick Facts 2013 Report: Madison County" The Nielsen Company
- Claritas SiteReports, "Pop-Facts: Household Quick Facts 2013 Report: Illinois" The Nielsen Company

*Figure 2.6-2: Median and Mean Household Income*

- Claritas SiteReports, "Pop-Facts: Household Quick Facts 2013 Report: Bethalto village" The Nielsen Company
- Claritas SiteReports, "Pop-Facts: Household Quick Facts 2013 Report: Madison County" The Nielsen Company

- Claritas SiteReports, "Pop-Facts: Household Quick Facts 2013 Report: Illinois" The Nielsen Company

*Figure 2.6-3: Employment Status*

- American Community Survey, "Selected Economic Characteristics, ACS 5-Year Estimates: Bethalto village", U.S. Census Bureau
- American Community Survey, "Selected Economic Characteristics, ACS 5-Year Estimates: Madison County", U.S. Census Bureau
- American Community Survey, "Selected Economic Characteristics, ACS 5-Year Estimates: Illinois", U.S. Census Bureau

*Figure 2.6-4: Civilian Labor Force Employment Rate*

- American Community Survey, "Selected Economic Characteristics, ACS 5-Year Estimates: Bethalto village", U.S. Census Bureau
- American Community Survey, "Selected Economic Characteristics, ACS 5-Year Estimates: Madison County", U.S. Census Bureau
- American Community Survey, "Selected Economic Characteristics, ACS 5-Year Estimates: Illinois", U.S. Census Bureau

*Figure 2.6-5: Occupation*

- American Community Survey, "Selected Economic Characteristics, ACS 5-Year Estimates: Bethalto village", U.S. Census Bureau

*Figure 2.6-6: Jobs by Industry*

- American Community Survey, "Selected Economic Characteristics, ACS 5-Year Estimates: Bethalto village", U.S. Census Bureau

*Figure 2.6-7: Class of Worker*

- American Community Survey, "Selected Economic Characteristics, ACS 5-Year Estimates: Bethalto village", U.S. Census Bureau

*Map 2.6-1: TIF I Boundary Map*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Service Layer Credits: Esri, DigitalGlobe, GeoEye, USDA, USGS
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.6-2: Riverbend Enterprise Zone Area*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Service Layer Credits: Esri, DigitalGlobe, GeoEye, USDA, USGS
- Madison County; County Parcel Shapefile; Madison County Geographic Information System Department
- IDOR Property Tax Division, "Riverbend Enterprise Zone, 2012 Tax Year", Illinois Department of Revenue

*Figure 2.7-1: Waterline Lengths by Pipe Size*

- Kilmer, Jay. 2013. Personal Interview

*Figure 2.7-2: 2011 and 2012 Annual Financial Report Review*

- Illinois Comptroller, "2012 Annual Financial Report, Village of Bethalto", Illinois Office of the Comptroller
- Illinois Comptroller, "2011 Annual Financial Report, Village of Bethalto", Illinois Office of the Comptroller

*Figure 2.7-3: Village Employment 2011 and 2012*

- IDES, "2012 Employment: Bethalto village", Illinois Department of Employment Security

- IDES, “2011 Employment: Bethalto village”, Illinois Department of Employment Security

*Map 2.8-1: Village Parks*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Service Layer Credits: Esri, DigitalGlobe, GeoEye, USDA, USGS
- Madison County; County Parcel Shapefile; Madison County Geographic Information System Department

*Figure 2.9-1: Regional Crime Rates*

- Illinois State Police, “Madison County municipalities crime rates”, Illinois State Police

*Figure 2.10-1: School Enrollment*

- American FactFinder, “School Enrollment, 2008-2012 ACS 5-Year Estimates: Bethalto village”, U.S. Census Bureau
- American FactFinder, “School Enrollment, 2008-2012 ACS 5-Year Estimates: Madison County”, U.S. Census Bureau
- American FactFinder, “School Enrollment, 2008-2012 ACS 5-Year Estimates: Illinois”, U.S. Census Bureau

*Figure 2.10-2: Educational Attainment*

- American FactFinder, “Educational Attainment, 2008-2012 ACS 5-Year Estimates: Bethalto village”, U.S. Census Bureau
- American FactFinder, “Educational Attainment, 2008-2012 ACS 5-Year Estimates: Madison County”, U.S. Census Bureau
- American FactFinder, “Educational Attainment, 2008-2012 ACS 5-Year Estimates: Illinois”, U.S. Census Bureau

*Figure 2.11-1: Retail Market Power Opportunity Gap – Merchandise Lines*

- Claritas SiteReports, “Retail Market Power Opportunity Gap – Merchandise Lines: Bethalto village”, The Neilson Company

*Figure 2.11-2: Retail Market Power Opportunity Gap – Retail Stores*

- Claritas SiteReports, “Retail Market Power Opportunity Gap – Retail Stores: Bethalto village”, The Neilson Company

*Figure 2.12-1: Land Use by Parcel Classification*

- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.12-1: Existing Land Use*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.12-2: Residential Parcels*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.12-3: Commercial Parcels*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.12-4: Industrial Parcels*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.

- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.12-5: Institutional Parcels*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.12-6: Undeveloped Parcels*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.12-7: Airport Parcels*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.12-8: Future Land Use*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department
- Service Layer Credits: Esri, DigitalGlobe, GeoEye, USDA, USGS

*Map 2.12-9: 1.5 Mile Future Land Use*

- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.13-1: Contour Elevation*

- U.S. Geological Survey, "National Elevation Dataset: Madison County Multi-Resolution Terrain Elevation Data", USGS
- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.13-2: Land Cover*

- National Land Cover Database, "Landcover: Madison County", NLCD and the Multi-Resolution Land Characteristics Consortium
- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

*Map 2.13-3: Area Soils*

- National Soil Information System, "Soil Survey Area (SSA): Madison County, Illinois", Soil Data Mart
- U.S. Census Bureau; 2013 TIGER/Line Shapefiles; U.S. Census Bureau, Geography Division.
- Madison County; County Parcel by Land Use Classification; Madison County Geographic Information System Department

**Chapter Three:**

*Figure 3.1-1: Survey Results for Question 1*

- Bethalto Planning Commission, "Bethalto Community Survey", Village of Bethalto

*Figure 3.1-2: Survey Results for Question 2*

- Bethalto Planning Commission, "Bethalto Community Survey", Village of Bethalto

*Figure 3.1-3: Survey Results for Question 3*

- Bethalto Planning Commission, "Bethalto Community Survey", Village of Bethalto

*Figure 3.1-4: Survey Results for Question 5*

- Bethalto Planning Commission, "Bethalto Community Survey", Village of Bethalto

*Figure 3.1-5: Survey Results for Question 8*

- Bethalto Planning Commission, "Bethalto Community Survey", Village of Bethalto

*Figure 3.1-6: Survey Results for Question 11*

- Bethalto Planning Commission, "Bethalto Community Survey", Village of Bethalto

*Figure 3.1-7: Survey Results for Question 12*

- Bethalto Planning Commission, "Bethalto Community Survey", Village of Bethalto

# Appendix B



## Appendix B: Soil Glossary

### 113B—Oconee silt loam, 2 to 5 percent slopes

#### Setting

Landform: Loess-covered till plains

Position on the landform: Summits

#### Soil Properties and Qualities

Drainage class: Somewhat poorly drained

Dominant parent material: Loess; or loess and the underlying silty pedisegment

Flooding: None

#### Map Unit Composition

Oconee and similar soils: 90 percent

Dissimilar soils: 10 percent

#### Minor Components

Similar soils:

- Soils that have a dark surface layer 10 inches or more thick
- Soils that contain less clay in the subsoil than the

Oconee soil

- Areas of soils that are eroded

Dissimilar soils:

- The somewhat poorly drained Darmstadt soils that have a natric horizon
- The poorly drained Cowden and Piasa soils in Depressions

### 119C3 — Elco silty clay loam, 5 to 10 percent slopes, severely eroded

#### Setting

Landform: Loess-covered till plains

Position on the landform: Erosional side slopes

#### Soil Properties and Qualities

Drainage class: Moderately well drained

Dominant parent material: Loess overlying glacial till that contains a paleosol

Flooding: None

#### Map Unit Composition

Elco and similar soils: 85 percent

Dissimilar soils: 15 percent

#### Minor Components

Similar soils:

- Soils that have a thinner loess mantle than that of the Elco soil
- Soils that contain a concentration of exchangeable sodium in the subsoil

- Areas of soils that are less eroded than the Elco soil

Dissimilar soils:

- The somewhat poorly drained Atlas soils on the lower side slopes
- The somewhat poorly drained Orion and Wakeland soils on narrow flood plains

### 119D2—Elco silt loam, 10 to 18 percent slopes, eroded

#### Setting

Landform: Loess-covered till plains

Position on the landform: Erosional side slopes

#### Soil Properties and Qualities

Drainage class: Moderately well drained

Dominant parent material: Loess overlying glacial till that contains a paleosol

Flooding: None

#### Map Unit Composition

Elco and similar soils: 85 percent

Dissimilar soils: 15 percent

#### Minor Components

Similar soils:

- Soils that have a thinner loess mantle than that of the Elco soil
- Soils that contain a concentration of exchangeable sodium in the subsoil

- Areas of soils that are severely eroded

Dissimilar soils:

- The somewhat poorly drained Atlas soils on the lower side slopes
- The somewhat poorly drained Orion and Wakeland soils on narrow flood plains

### 119D3—Elco silty clay loam, 10 to 18 percent slopes, severely eroded

#### Setting

Landform: Loess-covered till plains

Position on the landform: Erosional side slopes

#### Soil Properties and Qualities

Drainage class: Moderately well drained

Dominant parent material: Loess overlying glacial till that contains a paleosol

Flooding: None

#### Map Unit Composition

Elco and similar soils: 85 percent

Dissimilar soils: 15 percent

#### Minor Components

Similar soils:

- Soils that have a thinner loess mantle than that of the Elco soil
- Soils that contain a concentration of exchangeable sodium in the subsoil

- Areas of soils that are less eroded than the Elco soil

Dissimilar soils:

- The somewhat poorly drained Atlas soils on the lower side slopes
- The somewhat poorly drained Orion and Wakeland soils on narrow flood plains

### 165A—Weir silt loam, 0 to 2 percent slopes

#### Setting

Landform: Loess-covered till plains

Position on the landform: Interfluves and depressions

#### Soil Properties and Qualities

Drainage class: Poorly drained

Dominant parent material: Loess

Flooding: None

#### Map Unit Composition

Weir and similar soils: 90 percent

Dissimilar soils: 10 percent

#### Minor Components

Similar soils:

- Soils that have a darker surface layer than that of the Weir soil
- Soils that contain more clay in the upper part of the subsoil than the Weir soil

Dissimilar soils:

- The somewhat poorly drained Caseyville soils in the higher landform positions
- Small areas of depressional soils that remain wet for periods that extend into the growing season

**2079D—Menfro-Orthents-Urban land complex, 8 to 15 percent slopes**

**Setting**

Landform: Loess-covered till plains  
Position on the landform: Side slopes

**Component Properties and Qualities**

**Menfro**

Drainage class: Well drained  
Dominant parent material: Loess  
Flooding: None

**Orthents**

- Orthents consist of soil materials that have been altered by extensive leveling, cutting, and filling. Individual soil horizons are generally no longer distinguishable.

**Urban land**

- Urban land consists of areas covered by surfaces or structures that so obscure or alter the soils that identification of the soil series is not possible. Urban land consists mostly of shopping centers, industrial plants, other commercial sites, and streets and parking lots.

**Map Unit Composition**

Menfro and similar soils: 40 percent  
Orthents: 30 percent  
Urban land: 20 percent  
Dissimilar components: 10 percent

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Menfro soil
- Soils that contain carbonates in the substratum
- Areas of soils that are eroded

Dissimilar components:

- The somewhat poorly drained Caseyville soils in depressions
- The somewhat poorly drained Wakeland soils on narrow flood plains

**2384B—Edwardsville-Orthents-Urban land complex, 1 to 4 percent slopes**

**Setting**

Landform: Loess-covered till plains

**Component Properties and Qualities**

**Edwardsville**

Drainage class: Somewhat poorly drained  
Dominant parent material: Loess  
Flooding: None

**Orthents**

- Orthents consist of soil materials that have been altered by extensive leveling, cutting, and filling. Individual soil horizons are generally no longer distinguishable.

**Urban land**

- Urban land consists of areas covered by surfaces or structures that so obscure or alter the soils that identification of the soil series is not possible. Urban land consists mostly of shopping centers, industrial plants, other commercial sites, and streets and parking lots.

**Map Unit Composition**

Edwardsville and similar soils: 40 percent  
Orthents: 30 percent  
Urban land: 20 percent  
Dissimilar components: 10 percent

**Minor Components**

Similar soils:

- Soils that have a thinner dark surface layer than that of the Edwardsville soil
- Soils that contain more clay in the subsoil than the Edwardsville soil dissimilar components:
- The well-drained Wakenda soils in the higher landform positions

**2477B—Winfield-Orthents-Urban land complex, 2 to 8 percent slopes**

**Setting**

Landform: Loess-covered till plains

**Component Properties and Qualities**

**Winfield**

Drainage class: Moderately well drained  
Dominant parent material: Loess  
Flooding: None

**Orthents**

- Orthents consist of soil materials that have been altered by extensive leveling, cutting, and filling. Individual soil horizons are generally no longer distinguishable.

**Urban land**

- Urban land consists of areas covered by surfaces or structures that so obscure or alter the soils that identification of the soil series is not possible. Urban land consists mostly of shopping centers, industrial plants, other commercial sites, and streets and parking lots.

**Map Unit Composition**

Winfield and similar soils: 40 percent  
Orthents: 30 percent  
Urban land: 20 percent

Dissimilar components: 10 percent drained Mascoutah soils in depressions

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Winfield soil
  - Soils that contain carbonates in the substratum
  - Areas of soils that are eroded
- Dissimilar components:
- The well-drained Menfro soils in the higher or more convex landform positions
  - The somewhat poorly drained Caseyville soils in the lower landform positions

**267A—Caseyville silt loam, 0 to 2 percent slopes**

**Setting**

Landform: Loess-covered till plains  
Position on the landform: Nearly level summits

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained  
Dominant parent material: Loess  
Flooding: None

**Map Unit Composition**

Caseyville and similar soils: 90 percent  
Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Caseyville soil
  - Soils that contain more clay in the subsoil than the Caseyville soil
  - Soils that are moderately eroded; near the edge of the mapped areas
- Dissimilar soils:

- The poorly drained Weir soils at the head of drainageways and in slight depressions
- The moderately well drained Winfield soils in the more sloping landform positions

### **267B—Caseyville silt loam, 2 to 5 percent slopes**

#### **Setting**

Landform: Loess-covered till plains

Position on the landform: Gently sloping summits

#### **Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Loess

Flooding: None

#### **Map Unit Composition**

Caseyville and similar soils: 90 percent

Dissimilar soils: 10 percent

#### **Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Caseyville soil
- Soils that contain more clay in the subsoil than the Caseyville soil
- Soils that are moderately eroded; near the edge of the mapped areas

Dissimilar soils:

- The poorly drained Weir soils at the head of drainageways and in slight depressions
- The moderately well drained Winfield soils in the more sloping landform positions

### **2741B—Oakville-Psamments-Urban land complex, 2 to 5 percent slopes, rarely flooded**

#### **Setting**

Landform: Terraces

#### **Component Properties and Qualities**

##### **Oakville**

Drainage class: Well drained

Dominant parent material: Sandy alluvial sediments that commonly have been reworked by the wind; or sandy eolian deposits

Flooding frequency: Rare

##### **Psamments**

- Psamments consist of sandy soil materials that have been altered by extensive leveling, cutting, and filling. Individual soil horizons are generally no longer distinguishable.

##### **Urban land**

- Urban land consists of areas covered by surfaces or structures that so obscure or alter the soils that identification of the soil series is not possible. Urban land consists mostly of shopping centers, industrial plants, other commercial sites, and streets and parking lots.

#### **Map Unit Composition**

Oakville and similar soils: 40 percent

Psamments: 30 percent

Urban land: 20 percent

Dissimilar components: 10 percent

#### **Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Oakville soil
- Soils that contain more clay in the subsoil and substratum than the Oakville soil

- Soils that have slopes of more than 5 percent or less than 2 percent

Dissimilar components:

- The somewhat poorly drained Ridgeville soils in the lower landform positions

### **283B—Downsouth silt loam, 2 to 5 percent slopes**

#### **Setting**

Landform: Loess-covered till plains

Position on the landform: Summits

#### **Soil Properties and Qualities**

Drainage class: Moderately well drained

Dominant parent material: Loess

Flooding: None

#### **Map Unit Composition**

Downsouth and similar soils: 90 percent

Dissimilar soils: 10 percent

#### **Minor Components**

Similar soils:

- Soils that have a mollic epipedon
- Soils that are somewhat poorly drained
- Area of soils that are eroded

Dissimilar soils:

- The poorly drained Mascoutah soils in depressions

### **283C2—Downsouth silt loam, 5 to 10 percent slopes, eroded**

#### **Setting**

Landform: Loess-covered till plains

Position on the landform: Convex summits, shoulders, and backslopes

#### **Soil Properties and Qualities**

Drainage class: Moderately well drained

Dominant parent material: Loess

Flooding: None

#### **Map Unit Composition**

Downsouth and similar soils: 85 percent

Dissimilar soils: 15 percent

#### **Minor Components**

Similar soils:

- Soils that have a light-colored surface layer
- Soils that are well drained
- Areas of soils that are severely eroded

Dissimilar soils:

- The poorly drained Mascoutah soils in depressions
- The somewhat poorly drained Wakeland soils in small upland drainageways

### **31A—Pierron silt loam, 0 to 2 percent slopes**

#### **Setting**

Landform: Loess-covered till plains

Position on the landform: Nearly level or slightly depressional parts of broad interfluves

#### **Soil Properties and Qualities**

Drainage class: Poorly drained

Dominant parent material: Loess; or loess and the underlying silty pedisediment

Flooding: None

#### **Map Unit Composition**

Pierron and similar soils: 90 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Pierron soil
- Soils that have a concentration of exchangeable sodium in the subsoil
- Soils that do not have an abrupt textural change between the subsurface layer and the subsoil

Dissimilar soils:

- The somewhat poorly drained Marine soils on microhighs
- The poorly drained Burksville soils in depressions
- Small areas of very poorly drained soils in closed depressions that remain wet for periods that extend into the growing season

**3333A—Wakeland silt loam, 0 to 2 percent slopes, frequently flooded****Setting**

Landform: Flood plains

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Silty alluvium

Flooding frequency: Frequent

**Map Unit Composition**

Wakeland and similar soils: 90 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that are more acid than the Wakeland soil
- Soils that contain more sand in the substratum than the Wakeland soil
- Soils that have a dark buried soil above a depth of 60 inches

Dissimilar soils:

- The poorly drained Birds soils in the lower landform positions
- The moderately well drained Wilbur soils; in positions closer to the streams than those of the Wakeland soil

**3334A—Birds silt loam, 0 to 2 percent slopes, frequently flooded****Setting**

Landform: Flood plains

**Soil Properties and Qualities**

Drainage class: Poorly drained

Dominant parent material: Silty alluvium

Flooding frequency: Frequent

**Map Unit Composition**

Birds and similar soils: 85 percent

Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that contain more clay throughout than the Birds soil
- Soils that are more acid than the Birds soil
- Soils that have a dark buried soil within a depth of 40 inches

Dissimilar soils:

- The moderately well drained Wilbur soils on the higher parts of the flood plain
- Wet soils in depressional areas that are ponded during most of the growing season

**3336A—Wilbur silt loam, 0 to 2 percent slopes, frequently flooded****Setting**

Landform: Flood plains

**Soil Properties and Qualities**

Drainage class: Moderately well drained

Dominant parent material: Silty alluvium

Flooding frequency: Frequent

**Map Unit Composition**

Wilbur and similar soils: 90 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that contain more sand in the subsoil and substratum than the Wilbur soil
- Soils that contain more clay in the subsoil than the Wilbur soil
- Soils that have a dark buried soil above a depth of 60 inches

Dissimilar soils:

- The poorly drained Birds and somewhat poorly drained Wakeland soils in the lower landform positions

**3415A—Orion silt loam, 0 to 2 percent slopes, frequently flooded****Setting**

Landform: Flood plains

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Silty alluvium

Flooding frequency: Frequent

**Map Unit Composition**

Orion and similar soils: 85 percent

Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Orion soil
- Soils that have a dark buried soil below a depth of 60 inches
- Soils that contain more clay throughout than the Orion soil

Dissimilar soils:

- The moderately well drained Wilbur soils in the higher landform positions
- The poorly drained Birds soils in depressions

**3428A—Coffeen silt loam, 0 to 2 percent slopes, frequently flooded****Setting**

Landform: Flood plains

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Silty alluvium

Flooding frequency: Frequent

**Map Unit Composition**

Coffeen and similar soils: 85 percent

Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that have a light-colored surface layer
- Soils that contain more clay throughout than the Coffeen soil
- Soils that contain more sand in the substratum than the Coffeen soil

Dissimilar soils:

- The poorly drained Beaucoup soils in the lower landform positions

### **384A—Edwardsville silt loam, 0 to 2 percent slopes**

#### **Setting**

Landform: Loess-covered till plains  
Position on the landform: Summits and interfluves  
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#### **Soil Properties and Qualities**

Drainage class: Somewhat poorly drained  
Dominant parent material: Loess  
Flooding: None

#### **Map Unit Composition**

Edwardsville and similar soils: 90 percent  
Dissimilar soils: 10 percent

#### **Minor Components**

Similar soils:

- Soils that have a thinner dark surface layer than that of the Edwardsville soil
  - Soils that contain more clay in the subsoil than the Edwardsville soil
- Dissimilar soils:
- The well drained Wakenda soils in the higher landform positions
  - The poorly drained Mascoutah soils in depressions

### **385A—Mascoutah silty clay loam, 0 to 2 percent slopes**

#### **Setting**

Landform: Loess-covered till plains  
Position on the landform: Nearly level or depressional parts of broad interfluves

#### **Soil Properties and Qualities**

Drainage class: Poorly drained  
Dominant parent material: Loess  
Flooding: None

#### **Map Unit Composition**

Mascoutah and similar soils: 90 percent  
Dissimilar soils: 10 percent

#### **Minor Components**

Similar soils:

- Soils that contain less clay in the surface layer than the Mascoutah soil
  - Soils that contain more clay in the subsoil than the Mascoutah soil
- Dissimilar soils:
- The well drained Wakenda soils in the higher landform positions

### **438B—Aviston silt loam, 2 to 5 percent slopes**

#### **Setting**

Landform: Loess-covered till plains  
Position on the landform: Convex summits

#### **Soil Properties and Qualities**

Drainage class: Moderately well drained  
Dominant parent material: Loess; or loess and the underlying silty pedisediment  
Flooding: None

#### **Map Unit Composition**

Aviston and similar soils: 90 percent  
Dissimilar soils: 10 percent

#### **Minor Components**

Similar soils:

- Soils that have a lighter colored surface layer than that of the Aviston soil

- Soils that are well drained
  - Areas of soils that are eroded
- Dissimilar soils:
- The poorly drained Virden soils in small depressions

### **441B—Wakenda silt loam, 2 to 5 percent slopes**

#### **Setting**

Landform: Loess-covered till plains  
Position on the landform: Convex summits

#### **Soil Properties and Qualities**

Drainage class: Well drained  
Dominant parent material: Loess  
Flooding: None

#### **Map Unit Composition**

Wakenda and similar soils: 90 percent  
Dissimilar soils: 10 percent

#### **Minor Components**

Similar soils:

- Soils that have thinner dark surface layer than that of the Wakenda soil
  - Soils that contain more clay in the subsoil than the Wakenda soil
  - Soils in which the water table is closer to the surface than that in the Wakenda soil
- Dissimilar soils:
- The somewhat poorly drained

### **46A—Herrick silt loam, 0 to 2 percent slopes**

#### **Setting**

Landform: Loess-covered till plains  
Position on the landform: Nearly level summits and interfluves

#### **Soil Properties and Qualities**

Drainage class: Somewhat poorly drained  
Dominant parent material: Loess; or loess and the underlying silty pedisediment  
Flooding: None

#### **Map Unit Composition**

Herrick and similar soils: 90 percent  
Dissimilar soils: 10 percent

#### **Minor Components**

Similar soils:

- Soils that have a thinner dark surface layer than that of the Herrick soil
- Soils that contain less clay in the subsoil than the Herrick soil
- Soils that contain a concentration of exchangeable sodium in the subsoil

### **477B—Winfield silt loam, 2 to 5 percent slopes**

#### **Setting**

Landform: Loess-covered till plains  
Position on the landform: Summits

#### **Soil Properties and Qualities**

Drainage class: Moderately well drained  
Dominant parent material: Loess  
Flooding: None

#### **Map Unit Composition**

Winfield and similar soils: 90 percent  
Dissimilar soils: 10 percent

#### **Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the

Winfield soil

- Soils that contain carbonates in the substratum
- Soils that are moderately eroded; near the edge of the mapped areas

Dissimilar soils:

- The well drained Menfro soils on the higher or more convex summits
- The somewhat poorly drained Caseyville soils in the lower landform positions

#### **477B3—Winfield silty clay loam, 2 to 5 percent slopes, severely eroded**

##### **Setting**

Landform: Loess-covered till plains

Position on the landform: Convex summits, shoulders, and backslopes

##### **Soil Properties and Qualities**

Drainage class: Moderately well drained

Dominant parent material: Loess

Flooding: None

##### **Map Unit Composition**

Winfield and similar soils: 85 percent

Dissimilar soils: 15 percent

##### **Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Winfield soil
  - Soils that contain carbonates in the substratum
  - Soils that have slopes of more than 5 percent
- Dissimilar soils:
- The well drained Menfro soils on the higher or more convex summits
  - The somewhat poorly drained Caseyville soils in the lower landform positions

#### **477C2—Winfield silt loam, 5 to 10 percent slopes, eroded**

##### **Setting**

Landform: Loess-covered till plains

Position on the landform: Convex summits, shoulders, and backslopes

##### **Soil Properties and Qualities**

Drainage class: Moderately well drained

Dominant parent material: Loess

Flooding: None

##### **Map Unit Composition**

Winfield and similar soils: 90 percent

Dissimilar soils: 10 percent

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##### **Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Winfield soil
  - Soils that contain carbonates in the substratum
  - Areas of soils that are severely eroded
- Dissimilar soils:
- The well drained Menfro soils in the higher or more convex landform positions
  - The somewhat poorly drained Caseyville soils at the head of drainageways

#### **477C3—Winfield silty clay loam, 5 to 10 percent slopes, severely eroded**

##### **Setting**

Landform: Loess-covered till plains

Position on the landform: Convex summits, shoulders, and backslopes

##### **Soil Properties and Qualities**

Drainage class: Moderately well drained

Dominant parent material: Loess

Flooding: None

##### **Map Unit Composition**

Winfield and similar soils: 85 percent

Dissimilar soils: 15 percent

##### **Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Winfield soil
  - Soils that contain carbonates in the substratum
  - Areas of soils that are less eroded than the Winfield soil
- Dissimilar soils:
- The well drained Menfro soils in the higher or more convex landform positions
  - The somewhat poorly drained Caseyville soils at the head of drainageways

#### **477D3—Winfield silty clay loam, 10 to 18 percent slopes, severely eroded**

##### **Setting**

Landform: Loess-covered till plains

Position on the landform: Erosional side slopes

##### **Soil Properties and Qualities**

Drainage class: Moderately well drained

Dominant parent material: Loess

Flooding: None

##### **Map Unit Composition**

Winfield and similar soils: 85 percent

Dissimilar soils: 15 percent

##### **Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Winfield soil
  - Soils that contain carbonates in the substratum
  - Areas of soils that are less eroded than the Winfield soil
- Dissimilar soils:
- The well drained Menfro soils in the higher or more convex landform positions
  - The somewhat poorly drained Wakeland soils on narrow flood plains

#### **491B—Ruma silt loam, 2 to 5 percent slopes**

##### **Setting**

Landform: Loess-covered till plains

Position on the landform: Convex summits

##### **Soil Properties and Qualities**

Drainage class: Well drained

Dominant parent material: Loess; or loess and the underlying silty pedisegment

Flooding: None

##### **Map Unit Composition**

Ruma and similar soils: 90 percent

Dissimilar soils: 10 percent

### Minor Components

Similar soils:

- Soils that have a darker surface layer than that of the Ruma soil
- Soils that contain more clay in the surface layer than the Ruma soil
- Areas of soils that are eroded

Dissimilar soils:

- The moderately well drained Homen soils in the less sloping or less convex landform positions
- The somewhat poorly drained Marine soils in depressions at the head of drainageways

### 491D2—Ruma silt loam, 10 to 18 percent slopes, eroded

#### Setting

Landform: Loess-covered till plains

Position on the landform: Convex summits, shoulders, and backslopes

#### Soil Properties and Qualities

Drainage class: Well drained

Dominant parent material: Loess; or loess and the underlying silty pedisediment

Flooding: None

#### Map Unit Composition

Ruma and similar soils: 90 percent

Dissimilar soils: 10 percent

#### Minor Components

Similar soils:

- Soils that have a darker surface layer than that of the Ruma soil
- Soils that contain more clay in the surface layer than the Ruma soil
- Areas of soils that are severely eroded

Dissimilar soils:

- The moderately well drained Homen soils in the less sloping or less convex landform positions
- The somewhat poorly drained Marine soils in depressions at the head of drainageways

### 491D3—Ruma silty clay loam, 10 to 18 percent slopes, severely eroded

#### Setting

Landform: Loess-covered till plains

Position on the landform: Erosional side slopes

#### Soil Properties and Qualities

Drainage class: Well drained

Dominant parent material: Loess; or loess and the underlying silty pedisediment

Flooding: None

#### Map Unit Composition

Ruma and similar soils: 90 percent

Dissimilar soils: 10 percent

#### Minor Components

Similar soils:

- Soils that contain less clay in the surface layer than the Ruma soil
- Areas of soils that are less eroded than the Ruma soil
- Soils that have slopes of more than 18 percent or less than 10 percent

Dissimilar soils:

- The moderately well drained Homen soils in the less sloping or less convex landform positions
- The somewhat poorly drained Marine soils in depressions at the head of drainageways

### 50A—Virden silt loam, 0 to 2 percent slopes

#### Setting

Landform: Loess-covered till plains

Position on the landform: Nearly level or slightly depressional parts of broad interfluves

#### Soil Properties and Qualities

Drainage class: Poorly drained

Dominant parent material: Loess

Flooding: None

#### Map Unit Composition

Virden and similar soils: 90 percent

Dissimilar soils: 10 percent

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#### Minor Components

Similar soils:

- Soils that have an incipient E horizon
  - Soils that contain less clay in the subsoil than the Virden soil
  - Soils that contain a concentration of exchangeable sodium
- Dissimilar soils:
- Small areas of depressional soils that remain wet for periods that extend into the growing season

### 515B3—Bunkum silty clay loam, 2 to 5 percent slopes, severely eroded

#### Setting

Landform: Loess-covered till plains

Position on the landform: Slopes along upland drainageways

#### Soil Properties and Qualities

Drainage class: Somewhat poorly drained

Dominant parent material: Loess and the underlying silty pedisediment

Flooding: None

#### Map Unit Composition

Bunkum and similar soils: 85 percent

Dissimilar soils: 15 percent

#### Minor Components

Similar soils:

- Soils that have a thinner loess mantle than that of the Bunkum soil
  - Soils that contain a concentration of exchangeable sodium in the subsoil
  - Areas of soils that are less eroded than the Bunkum soil
  - Soils that have slopes of more than 5 percent or less than 2 percent
- Dissimilar soils:
- The somewhat poorly drained Wakeland soils on narrow flood plains
  - The moderately well drained Homen soils on summits and shoulders

### 515C3—Bunkum silty clay loam, 5 to 10 percent slopes, severely eroded

#### Setting

Landform: Loess-covered till plains

Position on the landform: Slopes along upland drainageways

#### Soil Properties and Qualities

Drainage class: Somewhat poorly drained

Dominant parent material: Loess and the underlying silty pedisediment

Flooding: None

**Map Unit Composition**

Bunkum and similar soils: 85 percent

Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that have a thinner loess mantle than that of the Bunkum soil

- Soils that contain a concentration of exchangeable sodium in the subsoil

- Areas of soils that are less eroded than the Bunkum soil

- Soils that have slopes of more than 10 percent or less than 5 percent

Dissimilar soils:

- The somewhat poorly drained Wakeland soils on narrow flood plains

- The moderately well drained Homen soils on summits and shoulders

**515D3—Bunkum silty clay loam, 10 to 18 percent slopes, severely eroded**

**Setting**

Landform: Loess-covered till plains

Position on the landform: Slopes along upland drainageways

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Loess and the underlying silty pedisediment

Flooding: None

**Map Unit Composition**

Bunkum and similar soils: 85 percent

Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that have a thinner loess mantle than that of the Bunkum soil

- Soils that contain a concentration of exchangeable sodium in the subsoil

- Areas of soils that are less eroded than the Bunkum soil

- Soils that have slopes of more than 18 percent or less than 10 percent

Dissimilar soils:

- The somewhat poorly drained Wakeland soils on narrow flood plains

- The moderately well drained

**517A—Marine silt loam, 0 to 2 percent slopes**

**Setting**

Landform: Loess-covered till plains

Position on the landform: Slightly convex summits

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Loess; or loess and the underlying silty pedisediment

Flooding: None

**Map Unit Composition**

Marine and similar soils: 90 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Marine soil

- Soils that contain a concentration of exchangeable sodium in the subsoil

- Soils that do not have an abrupt textural change between the subsurface layer and the subsoil

Dissimilar soils:

- The poorly drained Pierron soils at the head of drainageways and in slight depressions

**517B—Marine silt loam, 2 to 5 percent slopes**

**Setting**

Landform: Loess-covered till plains

Position on the landform: Convex summits

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Loess; or loess and the underlying silty pedisediment

Flooding: None

**Map Unit Composition**

Marine and similar soils: 90 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Marine soil

- Soils that contain a concentration of exchangeable sodium in the subsoil

- Soils that do not have an abrupt textural change between the subsurface layer and the subsoil

- Areas of soils that are moderately eroded

Dissimilar soils:

- The poorly drained Pierron soils at the head of drainageways and in slight depressions

- The moderately well drained Homen soils in the more convex landform positions

**533—Urban land**

**General Definition**

- Urban land consists of areas covered by surfaces or structures that so obscure or alter the soils that identification of the soil series is not possible. Urban land consists mostly of shopping centers, industrial plants, other commercial sites, and streets and parking lots.

**Map Unit Composition**

Urban land: 90 percent

Dissimilar components: 10 percent

**Minor Components**

Dissimilar components:

- Areas of dumps

- Cut and filled areas of the loamy Orthents

**582B—Homen silt loam, 2 to 5 percent slopes**

**Setting**

Landform: Loess-covered till plains

Position on the landform: Convex summits

**Soil Properties and Qualities**

Drainage class: Moderately well drained

Dominant parent material: Loess; or loess and the underlying silty pedisediment

Flooding: None

**Map Unit Composition**

Homen and similar soils: 90 percent  
Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Homen soil
- Soils that contain more clay in the subsoil than the Homen soil
- Soils that are moderately eroded; near the edge of the mapped areas

Dissimilar soils:

- The somewhat poorly drained Marine soils in the less sloping landform positions
- The well-drained

**582C2—Homen silt loam, 5 to 10 percent slopes, eroded**

**Setting**

Landform: Loess-covered till plains  
Position on the landform: Convex summits, shoulders, and backslopes

**Soil Properties and Qualities**

Drainage class: Moderately well drained  
Dominant parent material: Loess; or loess and the underlying silty pedisediment  
Flooding: None

**Map Unit Composition**

Homen and similar soils: 85 percent  
Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Homen soil
- Soils that contain more clay in the subsoil than the Homen soil
- Areas of soils that are severely eroded

Dissimilar soils:

- The somewhat poorly drained Marine soils in the less sloping landform positions
- The well-drained Ruma soils in the more convex landform positions

**701F—Menfro-Hickory silt loams, 18 to 35 percent slopes**

**Setting**

Landform: Loess-covered till plains  
Position on the landform: Side slopes

**Soil Properties and Qualities**

Drainage class: Well drained  
Dominant parent material: Menfro—loess; Hickory—glacial till  
Flooding: None

**Map Unit Composition**

Menfro and similar soils: 50 percent  
Hickory and similar soils: 40 percent  
Dissimilar components: 10 percent

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil
  - Soils that contain carbonates in the substratum
  - Areas of soils that are eroded
- Dissimilar components:
- The somewhat poorly drained Wakeland soils on narrow flood plains
  - Areas of rock outcrop at the base of slopes

**702F—Ruma-Hickory silt loams, 18 to 35 percent slopes**

**Setting**

Landform: Loess-covered till plains  
Position on the landform: Side slopes

**Soil Properties and Qualities**

Drainage class: Well drained  
Dominant parent material: Ruma—loess, or loess and the underlying silty pedisediment; Hickory—glacial till  
Flooding: None

**Map Unit Composition**

Ruma and similar soils: 50 percent  
Hickory and similar soils: 40 percent  
Dissimilar soils: 10 percent  
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**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil
  - Soils that contain more clay in the subsoil
  - Areas of soils that are eroded
- Dissimilar soils:
- The somewhat poorly drained Wakeland soils on narrow flood plains

**7053B—Bloomfield loamy fine sand, 2 to 5 percent slopes, rarely flooded**

**Setting**

Landform: Terraces

**Soil Properties and Qualities**

Drainage class: Somewhat excessively drained  
Dominant parent material: Sandy alluvial sediments that commonly have been reworked by the wind; or sandy eolian deposits  
Flooding frequency: Rare

**Map Unit Composition**

Bloomfield and similar soils: 85 percent  
Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Bloomfield soil
  - Soils that contain more clay in the subsoil than the Bloomfield soil
  - Soils that have a subsoil of fine sand that does not have dark brown bands
- Dissimilar soils:
- The somewhat poorly drained Newhaven soils in the lower landform positions

**7075B—Drury silt loam, 2 to 5 percent slopes, rarely flooded**

**Setting**

Landform: Loess bluffs  
Position on the landform: Footslopes

**Soil Properties and Qualities**

Drainage class: Well drained  
Dominant parent material: Silty local alluvium  
Flooding: None

**Map Unit Composition**

Drury and similar soils: 90 percent  
Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Drury soil
- Soils that contain more clay in the subsoil than the Drury soil

**7081A—Littleton silt loam, 0 to 2 percent slopes, rarely flooded**

**Setting**

Landform: Alluvial fans

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Silty local alluvium

Flooding frequency: Rare

**Map Unit Composition**

Littleton and similar soils: 90 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that have a thinner mollic epipedon than that of the Littleton soil
- Soils that contain more sand throughout than the Littleton soil
- Soils that have a dark buried soil

Dissimilar soils:

- The well drained Raddle and Worthen soils on the higher footslopes
- The poorly drained Beaucoup soils in depressions

**7430A—Raddle silt loam, 0 to 2 percent slopes, rarely flooded**

**Setting**

Landform: Alluvial fans and footslopes

**Soil Properties and Qualities**

Drainage class: Well drained

Dominant parent material: Silty local alluvium

Flooding frequency: Rare

**Map Unit Composition**

Raddle and similar soils: 90 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that have a thicker dark surface layer than that of the Raddle soil
- Soils that contain more sand in the lower part than the Raddle soil
- Soils that have slopes of more than 2 percent

Dissimilar soils:

- The somewhat poorly drained Littleton soils in the slightly lower landform positions

**7432A—Geff silt loam, 0 to 2 percent slopes, rarely flooded**

**Setting**

Landform: Terraces

Position on the landform: Treads

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Silty and loamy alluvium

Flooding frequency: Rare

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**Map Unit Composition**

Geff and similar soils: 85 percent

Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Geff soil
- Soils that contain less sand in the subsoil than the Geff soil
- Soils that have slopes of more than 2 percent

Dissimilar soils:

- The well drained Ridgway soils in the higher landform positions

**7434B—Ridgway silt loam, 2 to 5 percent slopes, rarely flooded**

**Setting**

Landform: Terraces

Position on the landform: Treads and risers

**Soil Properties and Qualities**

Drainage class: Well drained

Dominant parent material: Loess or other silty material and loamy outwash

Flooding frequency: Rare

**Map Unit Composition**

Ridgway and similar soils: 85 percent

Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that contain more sand in the upper part than the Ridgway soil
- Soils that contain less sand in the lower part than the Ridgway soil
- Soils that have slopes of more than 5 percent or less than 2 percent

Dissimilar soils:

- The somewhat poorly drained Geff soils in the lower, less sloping landform positions
- The well drained Oakville soils, which formed in sandy sediments reworked by the wind; on terraces

**7445A—Newhaven loam, 0 to 2 percent slopes, rarely flooded**

**Setting**

Landform: Terraces

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Loamy and sandy alluvium

Flooding frequency: Rare

**Map Unit Composition**

Newhaven and similar soils: 85 percent

Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that contain less sand in the subsoil than the Newhaven soil
- Soils that contain less clay throughout than the Newhaven soil

Dissimilar soils:

- The well drained Onarga soils in the higher landform positions
- The poorly drained Ambraw soils in depressions

**7741B—Oakville fine sand, 2 to 5 percent slopes, rarely flooded**

**Setting**

Landform: Terraces

**Soil Properties and Qualities**

Drainage class: Well drained

Dominant parent material: Sandy alluvial sediments that commonly have been reworked by the wind; or sandy eolian deposits

Flooding frequency: Rare

**Map Unit Composition**

Oakville and similar soils: 85 percent

Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that have a darker surface layer than that of the Oakville soil
- Soils that contain more clay in the subsoil and substratum than the Oakville soil
- Soils that have slopes of more than 5 percent or less than 2 percent

Dissimilar soils:

- The somewhat poorly drained Ridgeville soils in the lower landform positions
- The poorly drained Ambraw soils on the lower lying flood plains

**79B—Menfro silt loam, 2 to 5 percent slopes****Setting**

Landform: Loess-covered till plains

Position on the landform:

**Soil Properties and Qualities**

Drainage class: Well drained

Dominant parent material: Loess

Flooding: None

**Map Unit Composition**

Menfro and similar soils: 90 percent

Dissimilar components: 10 percent

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Menfro soil
- Soils that contain carbonates in the substratum
- Soils that are moderately eroded; near the edge of the mapped areas

Dissimilar components:

- The somewhat poorly drained Caseyville soils in depressions at the head of drainageways
- Areas where the natural soil has been disturbed by Development

**79C2—Menfro silt loam, 5 to 10 percent slopes, eroded****Setting**

Landform: Loess-covered till plains

Position on the landform: Convex summits, shoulders, and backslopes

**Soil Properties and Qualities**

Drainage class: Well drained

Dominant parent material: Loess

Flooding: None

**Map Unit Composition**

Menfro and similar soils: 90 percent

Dissimilar components: 10 percent

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the

Menfro soil

- Soils that contain carbonates in the substratum

- Areas of soils that are severely eroded

Dissimilar components:

- The somewhat poorly drained Caseyville soils in depressions at the head of drainageways

- Areas where the natural soil has been disturbed by Development

**79C3—Menfro silty clay loam, 5 to 10 percent slopes, severely eroded****Setting**

Landform: Loess-covered till plains

Position on the landform: Erosional side slopes

**Soil Properties and Qualities**

Drainage class: Well drained

Dominant parent material: Loess

Flooding: None

**Map Unit Composition**

Menfro and similar soils: 90 percent

Dissimilar components: 10 percent

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Menfro soil
- Soils that contain carbonates in the substratum
- Areas of soils that are less eroded than the Menfro soil

Dissimilar components:

- The somewhat poorly drained Caseyville soils in depressions at the head of drainageways

- Areas where the natural soil has been disturbed by development

**79D2—Menfro silt loam, 10 to 18 percent slopes, eroded****Setting**

Landform: Loess-covered till plains

Position on the landform: Side slopes

**Soil Properties and Qualities**

Drainage class: Well drained

Dominant parent material: Loess

Flooding: None

**Map Unit Composition**

Menfro and similar soils: 90 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Menfro soil
- Soils that contain carbonates in the substratum
- Areas of soils that are severely eroded

Dissimilar soils:

- The moderately well drained Winfield soils in landform positions similar to those of the Menfro soil

- The somewhat poorly drained Wakeland soils on narrow flood plains

**79D3—Menfro silty clay loam, 10 to 18 percent slopes, severely eroded****Setting**

Landform: Loess-covered till plains

Position on the landform: Erosional side slopes

**Soil Properties and Qualities**

Drainage class: Well drained  
Dominant parent material: Loess  
Flooding: None

**Map Unit Composition**

Menfro and similar soils: 85 percent  
Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Menfro soil
- Soils that contain carbonates in the substratum
- Areas of soils that are less eroded than the Menfro soil

Dissimilar soils:

- The moderately well drained Winfield soils in landform positions similar to those of the Menfro soil
- The somewhat poorly drained Wakeland soils on narrow flood plains

**79F—Menfro silt loam, 18 to 35 percent slopes**

**Setting**

Landform: Loess-covered till plains  
Position on the landform: Side slopes

**Soil Properties and Qualities**

Drainage class: Well drained  
Dominant parent material: Loess  
Flooding: None

**Map Unit Composition**

Menfro and similar soils: 90 percent  
Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that contain less clay in the subsoil than the Menfro soil
  - Soils that contain carbonates in the substratum
  - Areas of soils that are eroded
- Dissimilar soils:
- The well-drained Hickory soils on the lower side slopes
  - The somewhat poorly drained Wakeland soils on narrow flood plains

**801B—Orthents, silty, undulating**

**Setting**

Landform: Loess-covered till plains

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained  
Dominant parent material: Disturbed soil material  
Flooding: None

**Map Unit Composition**

Orthents, silty: 85 percent  
Dissimilar components: 15 percent

**Minor Components**

Dissimilar components:

- Areas of urban land
- Areas that are steeper than the Orthents
- Areas of soils that have loamy layers
- Areas that are subject to flooding
- Areas of well drained or moderately well drained soils
- Small bodies of water

**802B—Orthents, loamy, undulating**

**Setting**

Landform: Flood plains

**Soil Properties and Qualities**

Drainage class: Well drained  
Dominant parent material: Disturbed soil material  
Flooding frequency: Occasional

**Map Unit Composition**

Orthents, loamy: 85 percent  
Dissimilar components: 15 percent

**Minor Components**

Dissimilar components:

- Areas of urban land
- Areas that are steeper than the Orthents
- Areas of soils that have silty layers
- Areas of somewhat poorly drained or moderately well drained soils
- Areas that are not subject to flooding
- Small bodies of water

**8078A—Arenzville silt loam, 0 to 2 percent slopes, occasionally flooded**

**Setting**

Landform: Flood plains

**Soil Properties and Qualities**

Drainage class: Moderately well drained  
Dominant parent material: Silty alluvium  
Flooding frequency: Occasional

**Map Unit Composition**

Arenzville and similar soils: 85 percent  
Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that are deeper to the dark buried soil than the Arenzville soil
  - Soils that have a clayey dark buried soil
  - Soils that are well drained
- Dissimilar soils:
- Small areas of poorly drained soils in slight depressions
  - Small areas of the well-drained Drury soils, which are more sloping than the Arenzville soil and are closer to the bluff

**8284A—Tice silty clay loam, 0 to 2 percent slopes, occasionally flooded**

**Setting**

Landform: Flood plains

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained  
Dominant parent material: Alluvium of silty clay loam  
Flooding frequency: Occasional

**Map Unit Composition**

Tice and similar soils: 90 percent  
Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that contain more clay in the surface layer than the Tice soil
  - Soils that contain more sand in the subsoil and the substratum than the Tice soil
  - Soils that contain less clay throughout than the Tice soil
- Dissimilar soils:
- The poorly drained Darwin and Beaucoup soils in the lower landform positions
  - The well-drained Landes soils on the higher natural levees

**8304B—Landes very fine sandy loam, 2 to 5 percent slopes, occasionally flooded**

**Setting**

Landform: Flood plains

Position on the landform: Natural levees and low terraces

**Soil Properties and Qualities**

Drainage class: Well drained

Dominant parent material: Loamy and sandy alluvium

Flooding frequency: Occasional

**Map Unit Composition**

Landes and similar soils: 90 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that contain more or less sand throughout than the Landes soil
- Soils that contain more clay in the substratum than the Landes soil

**8333A—Wakeland silt loam, 0 to 2 percent slopes, occasionally flooded**

**Setting**

Landform: Flood plains

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Silty alluvium

Flooding frequency: Occasional

**Map Unit Composition**

Wakeland and similar soils: 90 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that are more acid than the Wakeland soil
- Soils that contain more sand in the substratum than the Wakeland soil
- Soils that have a dark buried soil above a depth of 60 inches

Dissimilar soils:

- The poorly drained Birds soils in the lower landform positions
- The well-drained Haymond soils; in positions closer to the streams than those of the Wakeland soil

**878C3—Coulterville-Grantfork silty clay loams, 5 to 10 percent slopes, severely eroded**

**Setting**

Landform: Loess-covered till plains

Position on the landform: Erosional side slopes

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Coulterville—loess and the underlying silty pediment; Grantfork—loamy

pediment and the underlying glacial till

Flooding: None

**Map Unit Composition**

Coulterville and similar soils: 50 percent

Grantfork and similar soils: 40 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that have a natric horizon
- Areas of soils that are less eroded than the Coulterville and Grantfork soils

- Soils that have slopes of more than 10 percent or less than 5 percent

Dissimilar soils:

- The somewhat poorly drained Wakeland soils on narrow flood plains
- The well-drained Hickory soils on the steeper side Slopes

**880B2—Coulterville-Darmstadt silt loams, 2 to 5 percent slopes, eroded**

**Setting**

Landform: Loess-covered till plains

Position on the landform: Summits and the upper end of small drainageways

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained

Dominant parent material: Loess; or loess and the underlying silty pediment

Flooding: None

**Map Unit Composition**

Coulterville and similar soils: 50 percent

Darmstadt and similar soils: 40 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that do not have a concentration of exchangeable sodium in the subsoil
  - Areas of soils that are severely eroded
  - Soils that have slopes of more than 5 percent or less than 2 percent
- Dissimilar soils:
- The somewhat poorly drained Wakeland soils on narrow flood plains

**885A—Virden-Fosterburg silt loams, 0 to 2 percent slopes**

**Setting**

Landform: Loess-covered till plains

Position on the landform: Nearly level or slightly depressional parts of broad interfluves

**Soil Properties and Qualities**

Drainage class: Poorly drained

Dominant parent material: Loess

Flooding: None

**Map Unit Composition**

Virden and similar soils: 50 percent

Fosterburg and similar soils: 40 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that have an incipient E horizon
  - Soils that contain more clay in the surface layer
  - Soils that contain less clay in the subsoil
- Dissimilar soils:
- Small areas of depressional soils that remain wet for periods that extend into the growing season

**897D3—Bunkum-Atlas silty clay loams, 10 to 18 percent slopes, severely eroded**

**Setting**

Landform: Loess-covered till plains

Position on the landform: Slopes along upland

drainageways

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained  
 Dominant parent material: Bunkum—loess and the underlying silty pedisegment; Atlas—glacial till that contains a strongly developed paleosol  
 Flooding: None

**Map Unit Composition**

Bunkum and similar soils: 50 percent  
 Atlas and similar soils: 40 percent  
 Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that contain a concentration of exchangeable sodium in the subsoil
- Areas of soils that are less eroded than the Bunkum and Atlas soils
- Soils that have slopes of more than 18 percent or less than 10 percent

Dissimilar soils:

- The somewhat poorly drained Wakeland soils on narrow flood plains
- The moderately well drained Homen soils on summits and shoulders

**8D3—Hickory clay loam, 10 to 18 percent slopes, severely eroded****Setting**

Landform: Till plains  
 Position on the landform: Convex side slopes

**Soil Properties and Qualities**

Drainage class: Well drained  
 Dominant parent material: Glacial till  
 Flooding: None

**Map Unit Composition**

Hickory and similar soils: 85 percent  
 Dissimilar soils: 15 percent

**Minor Components**

Similar soils:

- Soils that contain more clay in the subsoil than the Hickory soil
- Soils that have slopes of more than 18 percent or less than 10 percent
- Areas of soils that are less eroded than the Hickory soil

Dissimilar soils:

- The moderately well drained Elco soils at the upper end of drainageways
- The somewhat poorly drained Wakeland soils on narrow flood plains

**8F—Hickory silt loam, 18 to 35 percent slopes****Setting**

Landform: Till plains  
 Position on the landform: Convex side slopes

**Soil Properties and Qualities**

Drainage class: Well drained  
 Dominant parent material: Glacial till  
 Flooding: None

**Map Unit Composition**

Hickory and similar soils: 85 percent  
 Dissimilar components: 15 percent

**Minor Components**

Similar soils:

- Soils that contain more clay in the subsoil than the

**Hickory soil**

- Soils that have slopes of more than 35 percent or less than 18 percent
- Areas of soils that are eroded

Dissimilar components:

- The moderately well drained Elco soils at the upper end of drainageways
- The somewhat poorly drained Wakeland soils on narrow flood plains
- Areas of rock outcrop at the base of slopes

**90A—Bethalto silt loam, 0 to 2 percent slopes****Setting**

Landform: Loess-covered till plains  
 Position on the landform: Summits

**Soil Properties and Qualities**

Drainage class: Somewhat poorly drained  
 Dominant parent material: Loess  
 Flooding: None

**Map Unit Composition**

Bethalto and similar soils: 90 percent  
 Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that have a thicker dark surface layer than that of the Bethalto soil
- Soils that contain more clay in the subsoil than the Bethalto soil

Dissimilar soils:

- The poorly drained Mascoutah soils in small Depressions

**962D2—Sylvan-Bold silt loams, 10 to 18 percent slopes, eroded****Setting**

Landform: Loess bluffs  
 Position on the landform: Hillslopes

**Soil Properties and Qualities**

Drainage class: Well drained  
 Dominant parent material: Calcareous loess  
 Flooding: None

**Map Unit Composition**

Sylvan and similar soils: 50 percent  
 Bold and similar soils: 40 percent  
 Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that are deeper to carbonates
- Soils that have slopes of more than 18 percent or less than 10 percent
- Areas of soils that are severely eroded

Dissimilar soils:

- The well drained Drury and Worthen soils on footslopes
- The somewhat poorly drained Wakeland soils on narrow flood plains

**962F2—Sylvan-Bold silt loams, 18 to 35 percent slopes, eroded****Setting**

Landform: Loess bluffs  
 Position on the landform: Hillslopes

**Soil Properties and Qualities**

Drainage class: Well drained

Dominant parent material: Calcareous loess

Flooding: None

**Map Unit Composition**

Sylvan and similar soils: 50 percent

Bold and similar soils: 40 percent

Dissimilar soils: 10 percent

**Minor Components**

Similar soils:

- Soils that are deeper to carbonates
- Soils that have slopes of more than 35 percent or less than 18 percent
- Areas of soils that are severely eroded

Dissimilar soils:

- The well drained Drury and Worthen soils on footslopes
- The somewhat poorly drained Wakeland soils on narrow flood plains



# Appendix C



# Bethalto Community Survey

## Q1 Please select your level of satisfaction concerning community services, facilities and policies in Bethalto.

Answered: 190 Skipped: 0

	Very Satisfied	Satisfied	Indifferent	Dissatisfied	Very Dissatisfied	N/A	Total	Average Rating
Fire Protection	37.37% 71	43.68% 83	7.37% 14	3.68% 7	2.63% 5	5.26% 10	190	1.84
Law Enforcement	40.21% 76	47.62% 90	5.29% 10	3.70% 7	1.59% 3	1.59% 3	189	1.77
Emergency Medical Services	34.76% 65	45.99% 86	9.63% 18	3.74% 7	1.07% 2	4.81% 9	187	1.85
Conditions of Streets	1.60% 3	42.02% 79	19.15% 36	29.26% 55	7.98% 15	0% 0	188	3.00
Condition of Sidewalks	3.17% 6	39.68% 75	21.16% 40	25.93% 49	8.47% 16	1.59% 3	189	2.97
Solid Waste Disposal	21.81% 41	54.79% 103	13.30% 25	7.98% 15	0% 0	2.13% 4	188	2.08
Drinking Water Quality & Service	20.21% 38	54.26% 102	7.98% 15	13.30% 25	4.26% 8	0% 0	188	2.27
Storm Water Drainage	6.91% 13	34.57% 65	17.02% 32	28.72% 54	10.64% 20	2.13% 4	188	3.02
Quality of Parks	30.53% 58	48.95% 93	11.05% 21	7.37% 14	1.05% 2	1.05% 2	190	1.98
Community Events	16.49% 31	43.09% 81	25.53% 48	11.17% 21	2.13% 4	1.60% 3	188	2.38
Cable TV	0% 0	0% 0	0% 0	0% 0	0% 0	0% 0	0	0.00
Telephone	0% 0	0% 0	0% 0	0% 0	0% 0	0% 0	0	0.00
Internet Access	0% 0	0% 0	0% 0	0% 0	0% 0	0% 0	0	0.00
Village Board & Mayoral Leadership	25.53% 48	44.15% 83	21.28% 40	4.79% 9	3.19% 6	1.06% 2	188	2.15
Responsiveness of Village Employees	16.93% 32	49.21% 93	18.52% 35	9.52% 18	2.65% 5	3.17% 6	189	2.30
Overall Appearance of Community	12.17% 23	58.73% 111	10.05% 19	15.34% 29	3.70% 7	0% 0	189	2.40
Enforcement of Village Ordinances	12.30% 23	41.18% 77	21.93% 41	13.90% 26	7.49% 14	3.21% 6	187	2.62

#	List any new services or improvements to existing services that you think should be provided for residents.	Date
1	New aquatic center	1/31/2014 4:03 PM
2	Easy availability of ordinances on-line.	1/31/2014 3:49 PM
3	Include yard waste with refuse service.	1/31/2014 3:46 PM
4	A full time fire department with the required equipment needed	1/31/2014 3:39 PM

## Bethalto Community Survey

4	Run time fire department with the required equipment needed.	10/17/2013 8:33 PM
5	Although I give high marks to the responsiveness of village employees, this rating does not apply to the clerks in the water billing department. They are grouchy, uncaring, and mean spirited to everybody who walks through the door. They are void of any friendliness, humor, or good-natured comments.	1/31/2014 3:27 PM
6	You need more police officers. They do a great job and this may be a safe town but there are not enough to keep the dept fully running. Also they need updated vehicles.	12/29/2013 9:57 AM
7	Since the elimination of the dump to get rid of grass and yard waste it has become harder and harder to dispose of such items	12/26/2013 10:42 AM
8	My neighbors burn with out permits.	10/28/2013 5:45 PM
9	Would love to see new roads and sidewalks put in place. Also beautification of all the places/roads/intersections on 140. Bethalto needs to put itself into the top small towns not only in IL but in the country. We need to be visually appealing to be able to do that. Then, I think we start focusing on creating a healthy, safe, and desirable town to go along with the beautiful image.	10/22/2013 4:17 PM
10	Quarterly Newsletter would be nice	10/15/2013 11:20 AM
11	there are garbage trucks on our streets 5 days of the week. we don't need 2 garbage pickups a week.. If everyone had only one pickup per week, at least our streets could be free of the trucks SOMETIMES.	10/15/2013 10:35 AM
12	Community newsletter / email subscription service. Increase community activity awareness - better advertisements in newspapers, grocery centers, etc.	10/14/2013 1:26 PM
13	Put up mailboxes destroyed by the snow removal.	10/13/2013 5:29 PM
14	It would be nice to be able to pay our water bill online.	10/8/2013 7:50 PM
15	Need more full-time fire protection. Would like to see more sidewalks.	10/4/2013 2:15 PM
16	I think Bethalto does a fine job of providing necessary services to its residents.	10/3/2013 12:22 PM
17	I would like to see an improvement on our pool and surrounding area in the park. Our town is large enough to have an aquatic center. We have to go to Woodriver. Normal, IL has an aquatic center that the whole town joins in a yearly membership and it is the center of beauty and fun. I take my grandkids there and I am envious of the center. I always wish the Bethalto had one where we could enjoy family fun. Please consider this as an investment to our community that is growing.	10/3/2013 10:43 AM
18	Appearance of community is directly coorelated to code enforcement.	9/30/2013 1:51 PM
19	Traffic around schools and school bus pickups needs to be improved. Online payments for city services most notably the water bill	9/28/2013 9:37 AM
20	I am very appreciative that the pool remains open each year despite occasional low attendance, and I also appreciate the low cost of a season pass. I do think the pool could use a few improvements (shower rooms/furnitue), but please don't think I'm griping. I am very grateful for the pool's availability and love the friendly staff and patrons year after year.	9/25/2013 12:55 PM
21	Really wish there was a sidewalk for bikers on Erwin plegge.	9/24/2013 4:39 PM
22	Expand & enhance the old downtown with activities. An entrance to QT behind ACE and Arby's. Change airport name to Bethalto-St. Louis Regional	9/14/2013 8:13 PM
23	Our water always tastes funny/gross, which makes our ice also taste bad. Also, I've tripped on many jagged sidewalks on my runs and almost always fall. Don't know if that's the sidewalks fault or mine!	9/13/2013 4:59 PM
24	I am very happy with my services	9/13/2013 3:13 PM
25	Recycle station for electronics twice a year	9/13/2013 2:52 PM
26	On village ordinances, is there any group that looks around the city to see if any ordinances are being broken? Or, is it the responsibility of everyone to patrol the neighborhoods and turn people in for derelict cars, unmowed grass, junky yards, etc?	9/13/2013 1:45 PM

27	The water quality and charges should be examined. I have been keeping my water statements for	9/13/2013 12:32 PM
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# Bethalto Community Survey

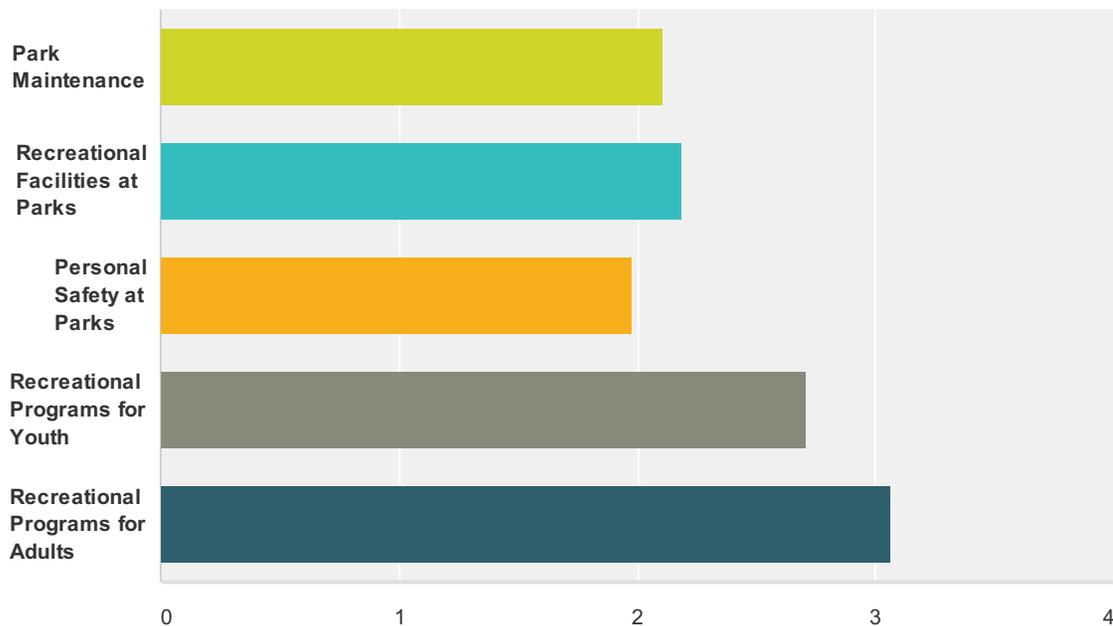
27	The water quality and charges should be examined. I have been keeping my water statements for the last 3 years, and it just keeps going up, up, up...even though we have not changed our household routine, no leaks, nothing. There are obvious times of peak use (a couple summer months when filling pool or watering grass), but that doesn't account for some of the very high bills in winter.	8/13/2013 12:02 PM
28	improved streets, sidewalks, and storm water drainage	9/13/2013 12:05 PM
29	A stronger emphasis on community events and better advertising of those events.	9/13/2013 6:59 AM
30	The sidewalks are in bad condition and not well maintained which makes walking around town difficult. Even the grass along the new sidewalks of the improved section of Roosevelt is not being maintained. The oil and rock roads are dangerous for bicycle travel.	9/13/2013 3:27 AM
31	I believe the Fire Department should be full-time paid.	9/10/2013 5:48 PM
32	Need paid fire and rescue at least 2 paramedics	9/9/2013 3:09 PM
33	STOP DUMPING OIL, ROCK AND DUST ON OUR SUBDIVISIONS!!!! DUST IS A REAL PROBLEM FOR LOTS OF PEOPLE HEALTHWISE. ALSO VERY DIRTY ON HOMES AND CARS!	9/9/2013 12:50 AM
34	I would like for the tar and gravel roads to be discontinued....It seems like they could wait a few years and asphalt all those roads. The gravel is dirty and doesn't improve the condition off the roads	9/8/2013 9:44 PM
35	Handicap accessibility at the end of the Roosevelt & Moreland sidewalk	9/2/2013 10:03 AM
36	bike path and keep adding sidewalks	8/22/2013 4:49 PM
37	The started but not finished methodist Church on North Prairie St. is an eye sore.	8/16/2013 4:09 PM
38	full time fire department	8/15/2013 6:41 PM
39	Many businesses do not have adequate space to operate i.e. they use the street to park customer vehicles.	8/15/2013 10:41 AM
40	Water is hard and tastes bad.	8/14/2013 10:03 PM
41	none	8/14/2013 3:47 PM
42	Second Street could use repair.	8/14/2013 12:06 PM
43	I think we should reconsider some of the services we offer residents - like brush removal. It is a never ending job that takes our workers away from other jobs that need to be done. We can pick up the whole town and the next day there is more brush laying all over. Leaf removal is the same way. Also, residents expect it to be picked up as soon as they put it out and when it's not, they complain.	8/14/2013 11:03 AM
44	I live in Cutter Aljets and would like the water that sits out in front of my house 365 days/year to drain properly. Even if that means replacing gutters to the end of the street.	8/13/2013 11:54 PM
45	Beef up the library, pool area, and add some park over on Moro.	8/13/2013 11:47 PM
46	Need Sidewalks in the subdivisions!	8/13/2013 10:27 PM
47	Sidewalks at schools	8/13/2013 9:17 PM
48	East Main and Central should be paved between Prairie and Moreland Road.	8/13/2013 9:01 PM
49	Dog park	8/13/2013 8:14 PM
50	More subdivisions need sidewalks	8/13/2013 7:54 PM
51	Splash pad like Hartfords. A response from the water dept head when he tells you he will take care of a storm drain covered by debris and has sink holes around it that a child could fall into.	8/13/2013 7:08 PM
52	faster removal of yard waste	8/13/2013 6:02 PM
53	Too many people in town are not keeping their yards mowed. More street lighting. Buried power lines on West Corbin and Prairie. Second Street and Culp Lane need to be redone like West Corbin and Roosevelt were.	8/13/2013 5:51 PM
54	Storm water drainage from Green Acres subdivision is non-existent! We have standing water in the fields and the "drainage" ditch on Homm St. for weeks at a time. Neither the city nor the airport maintains the ditch and our basements flood several times each year. Inexcusable!!!	8/13/2013 5:08 PM
55	Paid fire department	8/13/2013 4:23 PM

## Bethalto Community Survey

ID	Feedback	Date/Time
56	I believe it would be nice is the High School kids had a volunteer program to clean up the neighborhoods of trash.	8/13/2013 4:22 PM
57	1. Our summer activities are lacking - Small pool, etc. We have good green space but may need more recreation.	8/13/2013 4:16 PM
58	Fix streets properly. No more chipping them.	8/13/2013 4:02 PM
59	Lived on 400 block of Butcher St. For 10 yrs. Sewer backs up frequently during heavy rain.	8/13/2013 2:44 PM
60	I hope to see a paid fire dept in the near future. The thought of a volunteer dept is frightening knowing it took them over 15 to get to my subdivision while the neighbors house burned to the ground.	8/13/2013 2:27 PM
61	Better street maintenance	8/13/2013 1:53 PM
62	The bike trail is a superb idea!!! New village memo board in front of village hall	8/13/2013 1:47 PM
63	Need a Park and Rec. Department to help plan, acquire and execute numerous things that could bring \$\$ into the village. Not just sports, but Park and Rec should also take over the homecoming as it is becoming an issue with infighting and indifference towards vendors, etc.	8/13/2013 1:46 PM
64	New pool and indoor rec facility.	8/13/2013 1:44 PM
65	Brush and tree trimmings seem to stay on the streets longer than they used to.	8/13/2013 1:41 PM

**Q2 We would like you opinion about parks and recreation services and facilities.  
Please express your level of satisfaction with each of the following.**

Answered: 187 Skipped: 3



	Very Satisfied	Satisfied	Indifferent	Dissatisfied	Very Dissatisfied	N/A	Total	Average Rating
Park Maintenance	18.72% 35	57.75% 108	17.65% 33	4.28% 8	1.07% 2	0.53% 1	187	2.11
Recreational Facilities at Parks	21.93% 41	48.66% 91	17.11% 32	9.63% 18	1.60% 3	1.07% 2	187	2.19
Personal Safety at Parks	22.70% 42	56.76% 105	17.30% 32	1.08% 2	0.54% 1	1.62% 3	185	1.98
Recreational Programs for Youth	9.78% 18	33.70% 62	27.72% 51	18.48% 34	3.80% 7	6.52% 12	184	2.71
Recreational Programs for Adults	6.56% 12	21.31% 39	31.69% 58	27.32% 50	6.56% 12	6.56% 12	183	3.06

#	Do you have any ideas for improving parks and recreation services?	Date
1	Parks and rec department. Connect to MCT Trail network	1/31/2014 4:03 PM
2	The Bethalto pool needs updated. More of a park like setting.	1/31/2014 3:55 PM
3	I would like to see an option for softball/baseball other than the Boys & Girls Club. Their numbers decrease every year. I am very happy with the Sports Complex but I don't feel we need additional fields unless we are planning a Park & Rec Department in the near future. Not everyone can afford to play select sports. The Boys & Girls Club are failing those kids by not providing competitive league.	1/31/2014 3:46 PM
4	A nice place for weekend camping.	1/31/2014 3:39 PM

5	There is nothing in our city for adults as far as recreational programs or leagues. Start a league of	11/5/2013 8:22 AM
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## Bethalto Community Survey

5	There is nothing in our city for adults as far as recreational programs or leagues. Start a league of some sort. The general age for home owners and renters is going down.	11/9/2013 9:22 AM
6	Culp Lane park is the best of all of them. Would like to see more trash containers.	11/4/2013 12:47 PM
7	let us keep the fish out of Culp Lake.	10/28/2013 5:45 PM
8	Updated play equipment. Improved care of trees and greenery/grass—including the Arboretum.	10/22/2013 4:17 PM
9	Culp Lane park is in a secluded area that I do not feel safe visiting.	10/13/2013 5:29 PM
10	Rec center, adult & children programs	10/10/2013 9:44 PM
11	The Village needs its own recreation department. Need to utilize the Sports Complex more. Add tennis courts at the Sports Complex.	10/4/2013 2:15 PM
12	I think they are above average for this size of community.	10/3/2013 12:22 PM
13	It is time for a Park and Rec department	9/30/2013 1:51 PM
14	Connecting parks with walkways and bike paths. Also bike access to major services in the village such a shopping.	9/28/2013 9:37 AM
15	An adult swim time would be awesome. Is there any way that the pool could remain open on weekends until Labor Day?	9/25/2013 12:55 PM
16	The community pool and park need to be updated with some new and interesting children's features.	9/24/2013 6:51 PM
17	youth need something to do other than being outside the police dept on skateboards, they are a hazard to themselves and traffic	9/24/2013 4:23 PM
18	You really need a specific person in charge of the parks. We need a recreation program for our community.	9/14/2013 1:00 PM
19	n/a	9/13/2013 3:13 PM
20	need a park and rec district	9/13/2013 2:52 PM
21	We have excellent parks and sports facilities. I would like to see Sportsman's Park utilized more, especially since they are enlarging it.	9/13/2013 1:45 PM
22	There should be more sports camps and leagues for kids to participate in.	9/13/2013 6:59 AM
23	Need park and rec	9/9/2013 3:09 PM
24	Better sport programs for the youth of all ages	9/8/2013 9:44 PM
25	New pool and bath house	8/22/2013 6:40 PM
26	What recreational programs are available for youth and adults?	8/22/2013 5:02 PM
27	adult softball league at the ball park	8/22/2013 4:49 PM
28	Hire a parks and recreation director	8/19/2013 8:30 PM
29	Don't use. I go to Edwardsville for the YMCA and trails.	8/14/2013 10:03 PM
30	none	8/14/2013 3:47 PM
31	I am unaware of any recreational programs for adults. If we keep expanding the sports complex I thing we need to think about a park and rec. We do so much to maintain the complex and for the Boys & Girls Club. This could be a full time job.	8/14/2013 11:03 AM
32	When I drive by the sign in front of City Hall that gives information, it is never kept up and never that informative. (now it is not even used)	8/14/2013 10:06 AM
33	need bike trails	8/14/2013 9:41 AM
34	I think it's silly to add more baseball/softball fields when the ones we got aren't used 100% of the time.	8/13/2013 11:54 PM
35	Strengthen the connection to the Schools and community organizations to allow more events to occur throughout the year.	8/13/2013 11:47 PM

36	I'd like to see handicapped accessible equipment at the park like platform swings for children who	8/13/2013 10:54 PM
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## Bethalto Community Survey

36	To me to see handicapped accessible equipment at the park like platform swings for children who use wheelchairs.	8/13/2013 10:37 PM
37	Need more parks	8/13/2013 10:28 PM
38	Bike paths	8/13/2013 9:25 PM
39	Form a parks and recreation dept.	8/13/2013 9:16 PM
40	Lighting until 10 or 11 PM	8/13/2013 9:01 PM
41	Dog park	8/13/2013 8:14 PM
42	People who are low income do not have the ability for their kids to participate in village events. I find this to be very sad.	8/13/2013 8:02 PM
43	We need a 50 meter pool for lap swimming and recreation.	8/13/2013 7:38 PM
44	Splas pad like Hartford. Co-Ed softball leagues	8/13/2013 7:08 PM
45	Events like outdoor movie screenings and renting large outdoor screens could be fun! Much like what Alton does in the summer at their park. The creation low fee intramural sports that are not currently offered through schools could also benefit the town and its children greatly!	8/13/2013 6:27 PM
46	improve pool and playground equipment	8/13/2013 6:02 PM
47	Make the parks easier to walk to -- more sidewalks.	8/13/2013 5:51 PM
48	Need the village to run rec sports leagues, so boys & girls club can go back to doing what they do best.	8/13/2013 4:03 PM
49	Organized events for youth and adults	8/13/2013 3:28 PM
50	A recreation department for forming sports teams would be a nice addition instead of the Boys and Girls club handling it. We have left and went to Alton Park & Rec due to everything being disorganized.	8/13/2013 2:27 PM
51	Parks and rec has declined or non-existent	8/13/2013 1:53 PM
52	Hire a Park and Rec staff. With the events they could execute, it could pay the salaries, and bring in people for local businesses, especially restaurants and such	8/13/2013 1:46 PM
53	Sidewalks and bike paths.	8/13/2013 1:45 PM
54	Aquatic Center	8/13/2013 1:41 PM
55	A rec. center/facility and programs.	8/13/2013 1:36 PM

# Bethalto Community Survey

## Q3 Please identify the relative priority for the following economic development programs in Bethalto.

Answered: 190 Skipped: 0

	Very High	High	Medium	Low	Very Low	N/A	Total	Average Rating
Supporting and expanding existing businesses	49.47% 94	31.05% 59	16.32% 31	1.05% 2	1.58% 3	0.53% 1	190	1.74
Attracting new retail business	57.89% 110	23.16% 44	12.11% 23	4.21% 8	2.11% 4	0.53% 1	190	1.69
Promoting new residential development	20.53% 39	22.11% 42	35.79% 68	16.32% 31	4.21% 8	1.05% 2	190	2.61
Attracting new service businesses	39.47% 75	36.32% 69	15.26% 29	5.79% 11	2.11% 4	1.05% 2	190	1.94
Providing incentives to encourage business development	42.11% 80	26.32% 50	21.58% 41	5.26% 10	4.21% 8	0.53% 1	190	2.03
Supporting St. Louis Regional Airport Development	24.74% 47	19.47% 37	17.37% 33	12.11% 23	25.26% 48	1.05% 2	190	2.94

#	Would you share any ideas for the use of vacant buildings in downtown?	Date
1	At this point I don't think any small business will flourish downtown Bethalto. We have more people moving out than moving in. When I drive down 140 it looks like Cottage Hills with all the signs along the roadway. The business fronts need updating. It looks like a depressed area. Very disheartening... A lot of people go to Edwardsville for all their dining and shopping. People with young children use the Y and other children's programs in Edwardsville. I have no idea what businesses would survive downtown.	1/31/2014 3:46 PM
2	Weekend art shows.	1/31/2014 3:39 PM
3	Airport has been around long enough to be self supported.	1/31/2014 3:24 PM
4	Allow non profit orginations to use building if safe, and are willing to keep up the maintance as of electric and water. There is a lot of groups that struggle to get into the community room or senior citizen building.	11/5/2013 8:22 AM
5	Maybe a thrift store.	10/28/2013 5:45 PM
6	Extention of Boys and Girls Club? Club nights for youth? Tear down if in bad condition. Upscale apartments and lofts?	10/22/2013 4:17 PM
7	Restaurant Bakery Amish bulk store	10/15/2013 11:20 AM
8	Coffee shops A theater offering free/cheap movies or entertainment (similar to the Wildey in Edwardsville). It could double as a rentable event space.	10/14/2013 1:26 PM
9	Youth activities, Dances	10/13/2013 5:29 PM
10	City could use as an education center, rec activities	10/10/2013 9:44 PM
11	That should be the building owners responsibility	9/30/2013 1:51 PM
12	Make it an old Victorian era town with restaurants and specialty shops; or kids museum; or some type of charity usage?	9/24/2013 6:51 PM
13	Music store. Indoor/outdoor mini golf.	9/24/2013 4:39 PM
14	encourage citizens to run a coffee-internet café, a josephines type café, craft/antique store, look at downtown Edwardsville. Give some incentives to be here and stay here	9/24/2013 4:23 PM
15	Refer back to #1	9/14/2013 8:13 PM

# Bethalto Community Survey

ID	Response	Date/Time
16	Provide incentives to get businesses.	9/14/2013 1:00 PM
17	I don't have any ideas of what should be done with the vacant buildings other than try to get something in them and put them into use somehow	9/13/2013 3:13 PM
18	Airport is a waste of money. I know NOBODY who works at the airport. Working at a leased office there doesnt count. It would be better dug up as a lake or a outlet mall. Get Costco in town. Better than Sams!	9/13/2013 2:52 PM
19	Research ways for it to make it cost effective for new business to come into town. Promote new businesses by helping them advertise their existence.	9/13/2013 1:45 PM
20	recreation opportunities	9/13/2013 12:11 PM
21	Small, local business incentives. Many people in the community operate businesses from their homes because building rent and other expenses are difficult to earn a profit.	9/13/2013 7:11 AM
22	Commercial stores like a furniture store or a retail shopping business would be good at Meehen's	9/13/2013 6:59 AM
23	Ideas do not matter until Madison County, Fort Russell, and Bethalto taxes are lowered. What is killing business is the high taxes. We should be one of the greatest places in America to live. We have moderate climate, national interstate, rail, and water connections, skilled labor, available property, education institutions, etc. The reason people and businesses are leaving, and new businesses not coming is due to the crippling taxes.	9/13/2013 3:27 AM
24	get rid of them	9/8/2013 9:44 PM
25	Need to see destination points that develop a reputation. Will however need adequate parking for any business like a restaurant to able to succeed.	8/22/2013 10:22 PM
26	Maybe a computer center for young adults or a place to display art or such.	8/22/2013 6:40 PM
27	The owners should be trying to rectify these vacancies. This is not a city problem.	8/19/2013 8:30 PM
28	Tear them down.	8/16/2013 4:09 PM
29	It would have to be small businesses that don't require a lot of street advertising to draw crowds.	8/14/2013 10:03 PM
30	none	8/14/2013 3:47 PM
31	Any revamping of downtown would be good	8/14/2013 2:03 PM
32	Old water office - Rotary Hall and extra rental Business opportunities.	8/14/2013 11:10 AM
33	I really don't know. The last several businesses that have tried in those buildings have all failed.	8/14/2013 11:03 AM
34	Cafe...coffee shop, old time soda/ice cream shop (another Klines)	8/14/2013 6:44 AM
35	Old water dept. to be remodeled for civic use, Rotary Club, etc.	8/14/2013 1:56 AM
36	Unfortunately, there is very limited parking in that area, so I'm sure any business will struggle.	8/13/2013 11:54 PM
37	Make them community centers.	8/13/2013 11:47 PM
38	I'd like to see a community center focused on our teens and young adults.	8/13/2013 10:54 PM
39	Get them filled whatever it takes	8/13/2013 10:28 PM
40	Something for kids. Arcade or toy store or...	8/13/2013 9:17 PM
41	TIF money for re- development	8/13/2013 9:01 PM
42	Tear down	8/13/2013 8:14 PM
43	Spinning (indoor cycling) classes.	8/13/2013 7:38 PM
44	Demo and build new	8/13/2013 7:08 PM
45	Perhaps turning them into rental "Studio" space for meetups and other recreational and personal use. Photographers and other professionals could utilize those spaces for a small fee as well as other organized groups.	8/13/2013 6:27 PM
46	small businesses, nonprofits	8/13/2013 6:02 PM
47	Bethalto needs an attraction: perhaps something like downtown St. Charles Microbreweries	8/13/2013 5:51 PM

## Bethalto Community Survey

47	Bethalto needs an attraction, perhaps something like downtown St. Charles. Microbreweries, antique stores, and such.	8/13/2013 5:31 PM
48	need parking	8/13/2013 5:32 PM
49	Art studios...group painting on canvas, etc. these have become very popular. Coffee house with wi-fi, etc.	8/13/2013 5:05 PM
50	Turn in to apartments	8/13/2013 4:23 PM
51	Loft apartments	8/13/2013 4:16 PM
52	Arts & Crafts	8/13/2013 3:28 PM
53	Incentives for affordable business development that would benefit families.	8/13/2013 2:38 PM
54	Salad cafes, bakery	8/13/2013 2:27 PM
55	School functions or clubs	8/13/2013 1:53 PM
56	Turn them into loft apartments - NICE ones.	8/13/2013 1:46 PM
57	Rent is high, and business traffic is low in the downtown area. Street programs, such as farmers market, or block parties would help. Christmas walk is excellent, but it is cold, in the fall or spring would be another good time to have something	8/13/2013 1:46 PM
58	Restaraunts, small businesses, recreational. Tear them down and start over???	8/13/2013 1:36 PM

# Bethalto Community Survey

## Q4 What types of new businesses would you like to see located in Bethalto. We are especially interested in businesses that you would be very likely to support. Please be specific.

Answered: 123 Skipped: 67

#	Responses	Date
1	Restaurants with outdoor seating	1/31/2014 4:03 PM
2	Anything to generate tax revenue	1/31/2014 3:51 PM
3	Hotel	1/31/2014 3:49 PM
4	Cracker barrel	1/31/2014 3:36 PM
5	I would rather see improvements in existing businesses before attracting new ones. I would like to see existing business owners clean up their sites, learn something about customer service, and expand their hours.	1/31/2014 3:27 PM
6	A better and bigger grocery store that maybe isn't so expensive as the one we have now. We just need more options.	12/29/2013 9:57 AM
7	Gunsmith; gun range;	12/26/2013 10:42 AM
8	Movie Theater Comedy Club/	12/18/2013 11:34 PM
9	M A N U F A C T O R I N G and keep the police greedy hands out of business pockets	12/4/2013 5:03 PM
10	Restaurants, strip mall w/ different shops.	11/5/2013 8:22 AM
11	Bethalto needs a GOOD restaurant like Cracker barrel.	10/28/2013 5:45 PM
12	Nice restaurant (date nights, not family necessarily) Craft shop (quilt) Old time candy/soda shop	10/15/2013 11:20 AM
13	Local coffee shop. Bar & Grill Health Food Store - like Green Earth Grocery in Edwardsville	10/14/2013 1:26 PM
14	CiCi Pizza, A Mobile on the Run at the corner of 140 and Moreland Rd...Small engine repair shop.	10/13/2013 10:34 PM
15	retail shopping, grocery shopping	10/10/2013 9:44 PM
16	We could use more restaurant options. I would also love a quality coffee shop and maybe even a wine bar. Small retail shops would be great as well.	10/8/2013 7:50 PM
17	Grocery Store, Restaurants (not fast food), Hotel, need a business that will help with taxes	10/4/2013 2:15 PM
18	A Cosco. Everyone would support it in the surrounding area. The closest one is St. Charles area.	10/3/2013 10:43 AM
19	Maybe a bigger place to eat like Bob Evans and etc. near 255. Alton has nothing big like that near the interstate either so we could beat em to it.	10/3/2013 10:25 AM
20	sit down restaurants	10/3/2013 10:20 AM
21	Retail-Clothing Office Park-Professional Services	10/3/2013 9:54 AM
22	Family entertainment YMCA family dinner.	10/2/2013 9:12 PM
23	chain restaurants other than those in Alton and Wood River	10/1/2013 2:44 PM
24	Chain restaunt, competition for hardware store	9/30/2013 1:51 PM
25	Upscale resturants because w ehave to go to Edwardsville or Alton.	9/28/2013 9:37 AM
26	Cracker barrel	9/27/2013 8:47 PM
27	Whole foods; dierburgs ; trader joes ; super schnucks ; kohls ; we would be interested in any new restaurant that is organic or health conscious.	9/24/2013 6:51 PM

## Bethalto Community Survey

28	With 255 right there, a hotel/motel. That would bring quite a few jobs to the area. We need to focus on what people drive out of the area for and bring it here. We should have a pumpkin farm or apple orchard or Christmas trees. Keep people here and draw others in instead of driving to grafton or Staunton.	9/24/2013 4:39 PM
29	internet café, coffee shop, no more fast food - plenty, nice sit down restaurant, historical society, quilting shop, crafts are big business	9/24/2013 4:23 PM
30	Replace shopping center with a mall-bethalto-gallaria. Anchor stores would be Gordman's, Marshalls and TJ Max.	9/14/2013 8:13 PM
31	We need actual sit down restaurants and clothing stores.	9/14/2013 1:00 PM
32	Fitness studios or at least a space where classes like Zumba, spinning, or yoga can take place. Also, more restaurants.	9/13/2013 4:59 PM
33	Trader Joes or the likes; deli-type/sandwich restaurants with REASONABLE prices (some of the local small restaurants that I've tried were good but too expensive for me to frequent, and they've closed in a few years)...of course, I know that's easier said than done for most	9/13/2013 4:03 PM
34	Bigger grocery store	9/13/2013 3:17 PM
35	Would love to see more restaurants, a new bar, shopping, just more businesses in general so I am not spending all of my time and money in Edwardsville	9/13/2013 3:13 PM
36	Restaurants other than fast food.	9/13/2013 3:07 PM
37	expand the east side of airport plaza. need a huge schnucks. Get Costco in town. Pull in some tax revenue.	9/13/2013 2:52 PM
38	A nice restaurant, not a sports bar. With general dining and a quiet environment.	9/13/2013 1:45 PM
39	Indoor recreation facility	9/13/2013 12:11 PM
40	restaurants - not fast food	9/13/2013 12:07 PM
41	a restaurant with a nice outdoor seating area, microbrewery/restaurant type establishment	9/13/2013 12:05 PM
42	A gym to compete with the high prices and mediocre equipment of Leisure World.	9/13/2013 8:38 AM
43	More eating places, not fast food, sit down places. Olive Garden, 54th Street, Pasta House, etc.	9/13/2013 7:26 AM
44	Better restaurants. Wine bars and craft beer pubs. Microbreweries.	9/13/2013 7:19 AM
45	Seems there is a great increase in local art, antique stores, etc. Might be a nice draw to pull from the 255 expansion.	9/13/2013 7:11 AM
46	Sports apparel, furniture, and a chain restaurant.	9/13/2013 6:59 AM
47	Other than having a Ckic-fil-a, we have plenty of fast food restaurants. When guests come to our town, there are no quality hotels near. What about a quality (at least 3 star) hotel in town?	9/13/2013 3:27 AM
48	restaurants	9/12/2013 5:00 PM
49	A hotel...Jack in the Box:) Full service Car Wash.A safe place for teens to do things other than just 'hang out' like a teen club.	9/10/2013 6:08 PM
50	Hotels and large chain restaurants	9/10/2013 5:48 PM
51	family restaurants	9/9/2013 3:09 PM
52	Chain restaurant	9/8/2013 10:19 PM
53	upscale family restaurant..stores such as target etc...anything that brings in revenue	9/8/2013 9:44 PM
54	Restaurants. More options than just fast food.	9/2/2013 10:03 AM
55	Resale shops.	8/22/2013 11:24 PM
56	Quality restaurant Professional medical building for varied health care services.	8/22/2013 10:22 PM
57	Maybe clothing store for teens or nice sit down chain resteraunt.	8/22/2013 6:40 PM
58	Family resturants	8/22/2013 5:02 PM
59	casual dining restaurants, hotel, antiques/flee market	8/22/2013 4:49 PM

## Bethalto Community Survey

60	Sit down restuarents, and light industry	8/19/2013 8:30 PM
61	Big Box	8/17/2013 5:35 PM
62	No more fast food! It would be nice to have a Dierberg's or an expanded Schnuck's to keep people from going outside of Bethalto for their groceries. A unique upscale restaurant would be nice. I love our hometown restaurant's but we go elsewhere for more upscale dining.	8/16/2013 8:07 AM
63	new restaurants, new shopping outlets	8/15/2013 6:41 PM
64	mid priced motel.	8/15/2013 10:41 AM
65	We could use more restaurants, more retail shopping, more grocery stores. Schnuck's is WAY too high. I shop out of town for food, and almost everything else. My mechanic is Helmcamp, and I try to use businesses in Bethalto whenever possible. I use Tom Lane State Farm, The Islands, US Bank. I like Roma's, the Subway, El Mez Cal (spelling?), but we don't have much here.	8/14/2013 10:03 PM
66	resturants, retailers and entertainment	8/14/2013 3:50 PM
67	Something healthy, like better grocery stores or healthy restaurant. Not just fast foods & restaurant that mainly has fried foods!	8/14/2013 3:47 PM
68	Restaurants Hotel Grocery Store Kohl's	8/14/2013 2:03 PM
69	Retail clothing, e.g., Catos; Chain restaurant such as Olive Garden.	8/14/2013 12:06 PM
70	Some retail stores and restaurants. Not fast food	8/14/2013 11:10 AM
71	A sit-down restaurant, maybe a motel and a tea room. Gift/specialty shops.	8/14/2013 11:03 AM
72	Produce market	8/14/2013 10:44 AM
73	Quality Seafood restaurant...not fast food. Boutiques- not craft/junk shops	8/14/2013 9:41 AM
74	family restaurants (not fast food), grocery store, CVS pharmacy, retail stores	8/14/2013 9:25 AM
75	popular sit down food places,	8/14/2013 9:06 AM
76	Shop & Save Supermarket , Car Dealerships, Strip Malls, Hotels, Technology Based Industry	8/14/2013 7:47 AM
77	Qdoba, bread co, whole foods or trader joes.	8/14/2013 6:44 AM
78	MAJOR FRANCHISE STEAKHOUSE, ETC.	8/14/2013 1:56 AM
79	Additional chain restaurants	8/13/2013 11:54 PM
80	Restaurants definitely (coffee shop, bar, gourmet/bistro); toy shop (or any novelty-like shop), technology center (Internet cafe), health center (MD office, another urgent care, pharmacy, community hospital, whatever), movie theater/entertainment complex, art/craft supply store	8/13/2013 11:47 PM
81	More retail stores, possibly a different fitness facility. Possibly a dog park and promoting pet based businesses.	8/13/2013 10:54 PM
82	Resturants. Chains. Box store. Stopping. Hotels.	8/13/2013 10:28 PM
83	Restaurants	8/13/2013 10:27 PM
84	Old Navy, a shoe store, a craft supply store, PetCo or PetSmart	8/13/2013 9:25 PM
85	Anything geared toward younger children. Maybe a children's museum like Edwardsville.	8/13/2013 9:17 PM
86	Department store New full service Schnucks Moto mart on the east side of town Movie theater	8/13/2013 9:16 PM
87	Light industry at the Airport/Wayside Estates	8/13/2013 9:01 PM
88	Starbucks more restaurants.. Not fast food more stores	8/13/2013 8:23 PM
89	Hotel, nice chain restaurant.	8/13/2013 8:14 PM
90	Bass Pro!	8/13/2013 8:08 PM
91	Resale shop, flower shop	8/13/2013 8:02 PM
92	Swimming, biking, and running store.	8/13/2013 7:38 PM
93	More food places.	8/13/2013 7:16 PM

## Bethalto Community Survey

94	A nice sit down restaurant	8/13/2013 7:11 PM
95	Aldi. Clothing specialty store, Menards. Cold stone creamery, jimmy johns,	8/13/2013 7:08 PM
96	Panera and/or Starbucks	8/13/2013 6:05 PM
97	Panera bread	8/13/2013 6:03 PM
98	Dine-in restaurants, coffee shops, groceries, tutoring centers, daycare, doctor's offices, deli or butchery, winery	8/13/2013 6:02 PM
99	We need a big box store. Something to really put Bethalto on the map and bring in traffic. Walmart is really close, but perhaps Target, Meijer, Menards or others could be possibilities. Make any concession necessary to get a big store such as these.	8/13/2013 5:51 PM
100	Grocery and discount stores.	8/13/2013 5:08 PM
101	Restaurants like Cracker Barrel.	8/13/2013 5:05 PM
102	Restaurants and shopping	8/13/2013 5:01 PM
103	This community for years has been known as a bedroom community. However we must travel to other cities for restaurants other than fast food. With the expansion of 255 many of us believed that this would eventually happen. However,nothing yet.	8/13/2013 4:48 PM
104	Restaurants, clothing stores.	8/13/2013 4:42 PM
105	Chain sit-down restaurants/bars.	8/13/2013 4:23 PM
106	We would need more rooftops to see the kind of businesses I would like to see. New business follows new rooftops which follow new jobs. Don't worry about stores, we need more jobs.	8/13/2013 4:16 PM
107	New fast food and places to eat! And some kind of strip mall	8/13/2013 3:51 PM
108	Restaurants	8/13/2013 3:41 PM
109	Fast Food, Retail shops	8/13/2013 3:31 PM
110	Sit Down Restaurants Any Retail	8/13/2013 3:28 PM
111	Sit down restaurants. Not chains such as Applebee's that are in Alton, Wood River, & Edwardsville.	8/13/2013 3:20 PM
112	Restaurants	8/13/2013 3:08 PM
113	Chain restaurants other than fast food	8/13/2013 2:44 PM
114	Trendy restaurant development with moderate nightlife atmosphere	8/13/2013 2:38 PM
115	Target, Aldi I would especially love to have a Target in Bethalto. It would generate a lot of tax revenue to help out schools out and possibly lower property taxes.	8/13/2013 2:27 PM
116	Restaurants that offer more than unhealthy fast food. Example St. Louis Bread Company, Soup and Salad place.	8/13/2013 1:53 PM
117	Higher end restaurants and shops	8/13/2013 1:47 PM
118	A clothing store, not a boutique type of place, but like a Kohl's, or Maurice's, or Children's Place type of retail shop. We have Walmart (yuck), or Edwardsville, we need something closer. A new sort of restaurant or bar would be nice too. And I'm not talking about a Dick and Barb's or Doc Holiday's type of joint. Something with some class. Don't ever get rid of El Mezcal!! That place keeps me dining in Bethalto.	8/13/2013 1:46 PM
119	Instead of telling you what I would like to see, I am going a different direction. I would like to see programs that help those businesses we already have. I think the village should only purchase from businesses inside the village when applicable (as long as pricing is fair). I would like to see us showcase the businesses we already have.	8/13/2013 1:46 PM
120	Trader Joe's, health food store.	8/13/2013 1:45 PM
121	Bakery Nicer upscale restaurant Sports store	8/13/2013 1:44 PM
122	Motel Restaurant Additional grocery store	8/13/2013 1:41 PM
123	Box Retail Chain Restaurants	8/13/2013 1:39 PM

## Q5 To what extent do you think the following housing issues are a problem in Bethalto?

Answered: 190 Skipped: 0

	Not a Problem	A slight problem	A Moderate Problem	A Serious Problem	N/A	Total	Average Rating
Overall Appearance of housing in Bethalto	<b>29.26%</b> 55	<b>44.15%</b> 83	<b>19.68%</b> 37	<b>5.85%</b> 11	<b>1.06%</b> 2	188	2.02
Availability of elderly housing	<b>51.34%</b> 96	<b>18.72%</b> 35	<b>15.51%</b> 29	<b>4.28%</b> 8	<b>10.16%</b> 19	187	1.70
Quality of affordable housing for purchase	<b>42.63%</b> 81	<b>33.68%</b> 64	<b>16.84%</b> 32	<b>3.68%</b> 7	<b>3.16%</b> 6	190	1.81
Availability of affordable housing for purchase	<b>40%</b> 76	<b>33.68%</b> 64	<b>16.84%</b> 32	<b>5.26%</b> 10	<b>4.21%</b> 8	190	1.87
Quality of affordable rental housing	<b>27.13%</b> 51	<b>22.87%</b> 43	<b>22.87%</b> 43	<b>12.23%</b> 23	<b>14.89%</b> 28	188	2.24
Availability of affordable rental housing	<b>34.57%</b> 65	<b>21.81%</b> 41	<b>16.49%</b> 31	<b>12.23%</b> 23	<b>14.89%</b> 28	188	2.08
Availability of assisted living and long term care	<b>44.15%</b> 83	<b>23.40%</b> 44	<b>13.83%</b> 26	<b>8.51%</b> 16	<b>10.11%</b> 19	188	1.85
Lack of subdivision build-out	<b>45.11%</b> 83	<b>19.57%</b> 36	<b>13.04%</b> 24	<b>11.96%</b> 22	<b>10.33%</b> 19	184	1.91

# Bethalto Community Survey

## Q6 Please share your view of the role the Airport plays in our community.

Answered: 111 Skipped: 79

#	Responses	Date
1	Not sure.	1/31/2014 3:55 PM
2	Waste of tax money and space	1/31/2014 3:51 PM
3	Disappointed in the airport purchasing property that will now be taken off of the tax revenue. The airport does not pay property tax.	1/31/2014 3:47 PM
4	The airport plays a detrimental role in our community. We will never attract new business unless they sell property on 111.	1/31/2014 3:46 PM
5	Other than a few jobs it takes up a lot of valuable space with little return.	1/31/2014 3:39 PM
6	Its a tax that does nothing for me but cost money.	1/31/2014 3:36 PM
7	I am disappointed in the boistrous vilifying on the part of a view. Nobody seems to be countering these complaints. Although the airport may have a downside, I think citizens should stop and think what would happen if the airport relocated to another community. It is tough to not be appreciated after seeing what has been done to enhance the quality of life, create jobs, contribute to the tax base, and lower the airports portion of the property tax bill. I hope we can avoid a rift between the airport and the village.	1/31/2014 3:27 PM
8	To take our tax dollars	1/31/2014 3:24 PM
9	convenient location for business people to fly in, would love to see some commercial small jet flights to chicago, Branson, Kansas City, Indainapolis	12/18/2013 11:34 PM
10	CLOSE IT	12/4/2013 5:03 PM
11	The role it plays for me is, I pay tax dollars on it, and I get nothing out of it.	11/5/2013 8:22 AM
12	I do not think that our taxes should be used to maintain the airport.	11/4/2013 12:47 PM
13	Only for Air shows and 4th of July. Other wise a normal person doesn't use the Airport.	10/28/2013 5:45 PM
14	Huge! It brings people and industry to our village. So glad it is here and I highly support it. I do not think the noise is a distraction to our town at all.	10/22/2013 4:17 PM
15	None at all. Sick of paying taxes for it.	10/15/2013 11:20 AM
16	I imagine that it brings in more business than most people recognize although I've never seen statistics or numbers to that affect. I think it will grow to become increasingly important in future years, but pushing for rapid expansion too soon could kill it. (MidAmerica Airport had this problem)	10/14/2013 1:26 PM
17	I have been told that medical supplies are brought in through the Airport.	10/13/2013 10:34 PM
18	I am concerned expanding the airport would raise my taxes considerably, and we can't afford that.	10/13/2013 5:29 PM
19	I don't know???	10/3/2013 12:22 PM
20	They are awesome at letting us use their grounds for events.	10/3/2013 10:25 AM
21	Brings business dollars to community	10/3/2013 10:20 AM
22	I have very little understanding of the financial relationship between the village and the airport. However, I believe that the airport most of the viable commercial space in town. I think the village would benefit greatly if some of that land could somehow be developed.	10/3/2013 9:54 AM
23	Brings recognition, good corporate citizen, lots of jobs on the property.	10/1/2013 2:44 PM
24	It serves no purpose...never has, never will. Just takes our tax money	9/30/2013 1:51 PM
25	Biz development for tax revenue. Airport board is a stick in the mud for development along the south side of 140 and 111.	9/28/2013 9:37 AM

## Bethalto Community Survey

26	Landmark, site for community gatherings, employer, community service for commuters	9/25/2013 12:55 PM
27	It has been there all my life. I would miss it as a landmark if it was shut down. I think it is important to keep open just as it is	9/24/2013 6:51 PM
28	I don't quite know what the airport does for the community.	9/24/2013 4:39 PM
29	I have no idea other than being on my tax bill	9/24/2013 4:23 PM
30	At present a BURDEN! Need to establish a helicopter shuttle service between it and Lambert. Also a name that rightfully reflects the area.	9/14/2013 8:13 PM
31	ABSOLUTELY NOTHING. IT SUCKS UP OUR TAX DOLLARS AND YET THEY HAVE MILLIONS IN THEIR ACCOUNT.	9/14/2013 1:00 PM
32	I don't feel qualified/knowledgeable enough to answer this. I enjoy and love our ability to see the fireworks annually at such a great location, and really appreciate the community workers and volunteers who help with that – but other than that, I'm simply not aware of the airport's role in the community. I think it's kind of nice and unique.	9/13/2013 4:03 PM
33	Its just there	9/13/2013 3:17 PM
34	It's a huge tool for economic development - use it!	9/13/2013 3:16 PM
35	n/a	9/13/2013 3:13 PM
36	waste of taxpayers money. pathetic!	9/13/2013 2:52 PM
37	I am not sure what the airport does for the community, except cost us taxes. It was supposed to be self supporting years ago, what happened??? It is irritating to have it named St. Louis Regional Airport, that didn't play out. They pump money into a restaurant and won't let them put a sign at the highway, then why have a restaurant?	9/13/2013 1:45 PM
38	To be perfectly honest, I am not sure what role the Airport plays other than bringing some business to the area. It would be wonderful to be able to have charter flights in & out, but not sure if very affordable. Also, what about some larger entertainment venues? Splash park, movie theater, indoor park, etc...	9/13/2013 12:32 PM
39	work with the airport area to try to develop some type of distribution area similar to the route 111 new poag area even if it is smaller scale. supporting biz (restaurants, etc ) will follow.	9/13/2013 12:05 PM
40	No idea.	9/13/2013 8:38 AM
41	Only for the rich. We have no use for it.	9/13/2013 8:30 AM
42	I think the Airport can be a huge draw for the community, its essential to helping Bethalto expand.	9/13/2013 7:11 AM
43	It could become more of transport hub for more than airplanes. Build a bus terminal there.	9/13/2013 6:59 AM
44	It was so sad when we lost the pilot training business. Sitting where we do in the midwest, and being so close to STL, the airport is a great asset and holds much potential for growth.	9/13/2013 3:27 AM
45	it is an asset and draws in business from all over the country.	9/12/2013 5:00 PM
46	I believe we pay too much tax money to the airport	9/10/2013 5:48 PM
47	Taxes	9/9/2013 3:09 PM
48	Worthless	9/8/2013 9:44 PM
49	Do they have a role? Don't know anything about how many people they employ or how many businesses are supported by their involvement in the community.	9/2/2013 10:03 AM
50	It beings in people who wouldn't normally stop here.	8/22/2013 11:24 PM
51	Unfortunately controls most of the developable land in the community and marches to it's own drumbeat.	8/22/2013 10:22 PM
52	All the Airport does is suck dollars and give them to people outside our community and take tax dollars from the school district. They should be self sufficient. less than 1% of the people that pay taxes on the airport use it or work there!	8/22/2013 6:43 PM
53	Blimp parking for games, sales in instruments for planes I think and flying school	8/22/2013 6:40 PM
54	Attracts business which increase tax base for Bethalto	8/22/2013 5:02 PM

## Bethalto Community Survey

55	It needs to recognize the impact it has on Bethalto and cooperate with us.	8/22/2013 4:49 PM
56	Airport needs to be off our tax bill. We do not get fair representation on the airport board since it is totally in Bethalto city limits.	8/19/2013 8:30 PM
57	it is the largest controlling interest in Bethalto, with land and its location. It also is the largest single influence in taxing, with taking property taxes away from schools and the large undeveloped land. This land is also the focal point for what outsiders see and prime for retail deveopement which brings taxes into the city. .	8/17/2013 4:30 PM
58	Can't think of a thing.	8/16/2013 4:09 PM
59	I don't know what the value of the Airport is to the Village.	8/16/2013 8:07 AM
60	i dont see a role the airport plays in our community	8/15/2013 6:41 PM
61	I am mostly indifferent. More aircraft use would be more noise. More service/light industrial use would be good.	8/15/2013 10:41 AM
62	It puts Bethalto on the map. An airport is always good. It could use more traffic, though.	8/14/2013 10:03 PM
63	Important,Brings revenue and jobs to area	8/14/2013 6:35 PM
64	It is a very under used assett at the present it is an virtually untapped resource	8/14/2013 3:50 PM
65	Still not sure what is going to happen with wayside estates yet.	8/14/2013 3:47 PM
66	Employment Opportunities Limits growth potential	8/14/2013 2:03 PM
67	I do not think the airport plays any role in our community. I don't think they really care about Bethalto in anyway. They just grab up the land and let us pay them to do that.	8/14/2013 11:10 AM
68	I don't think it plays any role in our community. They own a lot of property that we could use for development and or other businesses.	8/14/2013 11:03 AM
69	Could be a tremendous resource if more attention given to market research and development.	8/14/2013 10:44 AM
70	The airport plays NO role in our community. As far as I can see we pay for it and it does not give back to us. I believe the airport has been purchsing most of the property around it and is not willing to sell but only lease. I think they are only in it for themselves and NOT the community.	8/14/2013 10:06 AM
71	what role do they play for Bethalto?? Do we receive anything from them?	8/14/2013 9:41 AM
72	They could better assist our comunity by supporting business growth on airport property	8/14/2013 7:47 AM
73	See no benefit for the local community other than occasional events. eg. fireworks, airshows	8/14/2013 7:36 AM
74	The airport should be a huge tax revenue...but the airport has been declining for some years. We need to do something to help revitalize it. AKA small hotel or something to get people to visit. We need something unique to draw people to visit Bethalto or just stop when passing through.	8/14/2013 6:44 AM
75	NO COMMENT	8/14/2013 1:56 AM
76	Honestly I have no idea what role the Airport plays. I just know it obviously cannot support a restaurant.	8/13/2013 11:54 PM
77	I do not know what it does for our community, but I wouldn't mind having it developed to gain more traffic for commercial passenger use.	8/13/2013 11:47 PM
78	I feel the airport plays an important role in our community as it brings in services that supports businesses such as UPS. It also provides employment opportunities, has a business park, and I would assume a good amount of tax revenue.	8/13/2013 10:54 PM
79	Should bring in people to spend money here. Currently fails all the way around	8/13/2013 10:28 PM
80	It doesn't unless they would bring some commercial flights.	8/13/2013 10:27 PM
81	I don't think it would be missed by most residents other than being the location of the fireworks.	8/13/2013 9:25 PM
82	Brings lots of business and jobs.	8/13/2013 9:17 PM
83	I believe the airport plays no role in our community at this time.	8/13/2013 9:16 PM
84	Excellent Professional Park and potential significant multifaceted growth and development. May be a good time to revisit the existing Strategic Business Plan.	8/13/2013 9:01 PM

## Bethalto Community Survey

85	There is plenty of room there for more businesses and restaurants. It only helps those who invest and fly through there. Otherwise it does absolutely no good to everyone else..	8/13/2013 8:23 PM
86	Planes wake me up.	8/13/2013 8:14 PM
87	ZERO	8/13/2013 8:08 PM
88	No idea.	8/13/2013 7:38 PM
89	Not much	8/13/2013 7:08 PM
90	In my opinion, if the airport cannot generate a decent revenue, then it's failing our community. It could become a money pit as the facilities continue to age, but it could also bring large company's to generate jobs and additional tax revenues for the community. Bringing in those businesses to work with our airport should be a priority.	8/13/2013 6:27 PM
91	doesn't seem to do much from my viewpoint	8/13/2013 6:02 PM
92	The Airport defines Bethalto. However, most residents will never get an opportunity to interact with it. If there were some way to offer regional flights to Springfield or Champaign, that would be fantastic, if somewhat unlikely. However, business development around the airport needs to be highly encouraged. There was a great little restaurant that was recently open for a short while. However, no one knew about it and there wasn't anything else close to it. There should be a lot of things to do around the airport.	8/13/2013 5:51 PM
93	it is a drag on any development to our community	8/13/2013 5:32 PM
94	Mainly serves as a recreational and private air alternative to Lambert, but that's the way it should stay to avoid excessive noise.	8/13/2013 5:08 PM
95	It doesn't.	8/13/2013 5:01 PM
96	Very little if any.	8/13/2013 4:48 PM
97	We have supported it for a long time. It is time for it to operate as a business in other if it can not make enough money to support itself CLOSE IT DOWN!!!!It seems elitist	8/13/2013 4:29 PM
98	Useless to the average taxpayer. They need to sell property for commercial development.	8/13/2013 4:23 PM
99	we need to get it off our backs.	8/13/2013 4:22 PM
100	I believe that it is key to big success. Some type of corporate headquarters could be the key to making our village a nice small city.	8/13/2013 4:16 PM
101	It is problematic as it continues to collect land with nothing to show in assistance to our school district or the growth of business.	8/13/2013 4:03 PM
102	None	8/13/2013 4:02 PM
103	Getting better. I like the public events they host and there are good paying jobs there. Airport needs to be more a part of the Bethalto Community.	8/13/2013 3:28 PM
104	get rid of it	8/13/2013 3:08 PM
105	No benefit to me	8/13/2013 2:38 PM
106	None that I can see, other than to support hobbyists and wealthy people	8/13/2013 1:53 PM
107	Offers a few jobs	8/13/2013 1:47 PM
108	I think the airport is more detrimental to the village than good. They landlock us, they have a large parcel that could be used for something west of 111, and the businesses that they have (except the old restaurant) aren't a plus to the average citizens. The restaurant could make it, if they would let them have signage out by the road, and make some concessions. I think the Airport does not have the villages best interest when making decisions.	8/13/2013 1:46 PM
109	Vital.	8/13/2013 1:45 PM
110	Employs several people Like the fly ins etc.	8/13/2013 1:41 PM
111	Zero.....Very few opportunities exist there for expansion. Why not use the area that was purchased across 111 for industry or recreational activities?	8/13/2013 1:36 PM

# Bethalto Community Survey

## Q7 Are there any other housing issues you are concerned about?

Answered: 64 Skipped: 126

#	Responses	Date
1	Zoning and the village seem focused on sub-divisions at the expense of the older neighborhoods	1/31/2014 4:03 PM
2	I am very glad that the city has to give a occupancy permit and does a inspection. Hopefully this will help to maintain these homes and keep our community looking good.	1/31/2014 3:55 PM
3	All the new houses being built are high end!	1/31/2014 3:47 PM
4	I would like to see the code violations enforced. I realize times are hard and people can't afford to maintain their property. Having said that, residents should be responsible for pulling weeds, mowing and removing junk and debris from their yards. We have the same complaints year after year and most of them are never cleaned up.	1/31/2014 3:46 PM
5	poorly maintained yards	1/31/2014 3:36 PM
6	The more rental properties that are developed, the trashier the community looks. Less apartments, less rental property or at least make them take care of the property	12/26/2013 10:42 AM
7	to expensive	12/18/2013 11:34 PM
8	Yes ,	12/4/2013 5:03 PM
9	Renters of homes. They should be held accountable for the dwelling appearance.	11/4/2013 12:47 PM
10	Upkeep of some of the homes and property is a problem. I worry about the size of the homes and who can afford these homes and who will take care of them.	10/22/2013 4:17 PM
11	zoning ordinances not enforced in residential areas	10/10/2013 9:44 PM
12	No	10/3/2013 9:54 AM
13	Get rid of trailer park on Rt 140	10/1/2013 2:44 PM
14	Overall condition of housing is deteriorating. People just dont keep up their proprety any more	9/30/2013 1:51 PM
15	Undeveloped subdivisions	9/25/2013 12:55 PM
16	Rent is crazy, but everything is nowadays I guess.	9/24/2013 4:39 PM
17	would like to see more of the 55 and older condos, maybe a bit smaller and less expensive in a gated community with a golf course, swim pool, small senior themed shops	9/24/2013 4:23 PM
18	Too much "HUD huts" being built leading to crime and drugs and litter.	9/14/2013 8:13 PM
19	Have people clean up their yards or have the city assist them if needed.	9/14/2013 1:00 PM
20	I strongly believe we need more options for seniors	9/13/2013 3:13 PM
21	Get rid of the south side of 140 around the KC hall	9/13/2013 2:52 PM
22	We have several subdivisions that were started and have not been completed. It would be nice to see these subdivisions be completed. They look like a blighted area.	9/13/2013 1:45 PM
23	Basic Maintenance...some of the homes need to be updated or even just yard cleaned. I know its difficult for some people (elderly).	9/13/2013 12:32 PM
24	Taxes. I have a house that is over 20 years old and 1800 square feet. I am not in one of the newer subdivisions. Yet taxes on my house are nearly \$5000.00. This is insane! Even though the value of my property has gone down since I bought my house, my taxes have gone up considerably. Recently I was talking to a business owner who lives in Carlinville. When I told her that I lived in Bethalto, she mentioned that she would like to move to Bethalto, but the taxes are too high for her to move to Bethalto. This sadly is reputation of our town. High taxes.	9/13/2013 3:27 AM
25	Chateau has a lot of problems	9/8/2013 9:44 PM

## Bethalto Community Survey

26	Way over priced.	8/22/2013 11:24 PM
27	Renting houses are way to expensive. If you are going to pay a mortgage then don't rent buy.	8/22/2013 5:56 PM
28	no	8/22/2013 5:02 PM
29	In buying houses to rehab or to rent the inspection system is bad. Especially the plumbing, cost me 3 weeks and \$1,000, not acceptable, stops people from buying houses in Bethalto for this reason, BAD.	8/22/2013 8:39 AM
30	The inspections and the inspector need to be reviewed.	8/19/2013 8:30 PM
31	Bethalto needs quality affordable condos. VERY few to choose from in Bethalto.	8/16/2013 4:09 PM
32	Quality of tenants in some of the lower end rentals is a big concern.	8/16/2013 8:07 AM
33	n/a	8/15/2013 6:41 PM
34	derelict autos,roaming pets i.e. cats autos parked in yards i.e. not in driveways lack of dog "curbing" and walking of vicious dogs by minors.	8/15/2013 10:41 AM
35	Village home owners or renters who do not mow their yards or park their vehicles in their yards	8/14/2013 6:35 PM
36	Northside of Cottage Hill.	8/14/2013 3:47 PM
37	Subdivisions not built out	8/14/2013 2:03 PM
38	No except we need more.	8/14/2013 11:10 AM
39	I am concerned with whether or not houses are being thoroughly inspected for safety reasons. An owner of rental property in Alton, Wood River and Bethalto recently told me Bethalto's inspections were the easiest to pass. She said they didn't look at half the things the other towns looked at and that she knew some things needed to be repaired that were not even mentioned.	8/14/2013 11:03 AM
40	We have certain areas that are nice and others that are not. I don't believe certain ordinances are kept up. We seem to hit and miss on alot of properties. I don't understand why letters are sent to the same people, they clean up and then a few months later we have the same situation and then the letter process starts again. After they have been notified once within a period of time they should not be notified again just fined!	8/14/2013 10:06 AM
41	upkeep of certain areas within the Village	8/14/2013 9:25 AM
42	no	8/14/2013 7:36 AM
43	Too much HUD housing. Our community looks run down.	8/14/2013 6:44 AM
44	A lot of subdivisions are created but seldom get fully developed (i.e. Schrieber Fams, Stadium Drive, Wood Crest, several others on Moreland Rd). Seems like Bethalto population is going down (as is our school enrollment), but we keep building more subdivisions. They generally look unsightly when they are not fully developed.	8/13/2013 11:54 PM
45	There seems to be a glut of development, but that's neither bad nor good.	8/13/2013 11:47 PM
46	To much rentals and bum landlords. Get them and section 8 out	8/13/2013 10:28 PM
47	Rue dr Chateau is an eyesore. Really brings down Bethalto's overall appeal. As does the trailer park by McDonalds and the one on Moreland.	8/13/2013 9:17 PM
48	Most subdivisions need sidewalks	8/13/2013 7:54 PM
49	Clogged storm sewer north east comer 901 Circle	8/13/2013 7:08 PM
50	Nice apartments and condo's are almost nonexistent in our community. These types of housing are crucial to Edwardsville's community development and we should encourage this type of new development in Bethalto. Especially because it's becoming harder and harder for young couples and youth to own and pay down a substantial mortgage and obtain housing loans.	8/13/2013 6:27 PM
51	no	8/13/2013 6:02 PM
52	The eastern half of West Corbin looks really run down. Crime around the Chateau Apartments is always a concern. The Sportsman's Park subdivision needs to be finished.	8/13/2013 5:51 PM
53	Taxes taxes taxes. I have noticed many family move in recent years because the tax rate is simply not affordable for the services provided.	8/13/2013 4:48 PM

## Bethalto Community Survey

54	All of the vacant properties that go unkept. As well as all of the properties being developed that are not kept up with all.	8/13/2013 4:35 PM
55	Abandon houses. Landlords who do not fix things up Pit bulls in rental houses without a sturdy fence. Cats not a leash. Just running loose. People not picking up after their dogs.	8/13/2013 4:29 PM
56	The house on Albers that remains unfinished.	8/13/2013 4:16 PM
57	N/A	8/13/2013 4:03 PM
58	Cleanliness of property	8/13/2013 4:02 PM
59	Poor conditions of homes in comparison to neighbor homes.	8/13/2013 3:41 PM
60	New developments are too high priced. We need new housing in the 150k range.	8/13/2013 3:28 PM
61	no	8/13/2013 3:08 PM
62	I get concerned in our subdivision with multi families living in single family homes and it not being enforced as a single family home.	8/13/2013 2:27 PM
63	Some code enforcement is pushed too hard to those residents that are down on luck, out of work, etc. I think we need to treat some residents with compassion. The inspector is too hard on some people and doesn't want to listen to see if they might have a valid reason.	8/13/2013 1:46 PM
64	Some residences in the older part of town need attention	8/13/2013 1:41 PM

## Bethalto Community Survey

## Q8 Which of the following were important reasons to you for originally locating or acquiring property in Bethalto?

Answered: 185 Skipped: 5

	Very Important	Important	Somewhat Important	Not Important	Total	Average Rating
I have lived here all my life	37.93% 66	14.37% 25	13.22% 23	34.48% 60	174	2.44
Near Employment	26.29% 46	28.00% 49	20.57% 36	25.14% 44	175	2.45
Reasonable Cost of Living	26.14% 46	48.86% 86	14.20% 25	10.80% 19	176	2.10
Quality of Schools	57.87% 103	29.21% 52	4.49% 8	8.43% 15	178	1.63
Low Crime Rate	59.22% 106	36.31% 65	2.79% 5	1.68% 3	179	1.47
Uncongested Rural Area	37.29% 66	36.72% 65	13.56% 24	12.43% 22	177	2.01
Recreational Opportunities	13.87% 24	31.21% 54	34.10% 59	20.81% 36	173	2.62
Taxes	34.12% 58	31.18% 53	22.35% 38	12.35% 21	170	2.13
To be near family	44.38% 79	32.02% 57	12.36% 22	11.24% 20	178	1.90
Availability of Housing	17.65% 30	34.12% 58	29.41% 50	18.82% 32	170	2.49

#	Other (please specify)	Date
1	I reside in East Alton.	1/31/2014 3:27 PM
2	Its very hard to find updated quality houses in this town. Too expensive.	12/29/2013 9:57 AM
3	We were told the schools were high quality when we moved here but I really am not convinced of that. Would love to see our schools improve. Also would love to see a new pool and recreation center.	10/22/2013 4:17 PM
4	My husband grew up here.	10/15/2013 11:20 AM
5	I will be moving out of Bethalto and Madison County as soon as my kids are gone because of Madison County's real estate taxes.	10/3/2013 12:22 PM
6	Recommendation of long-time residents	9/25/2013 12:55 PM
7	bought a fixer upper and loved the area and wanted kids to go to school here	9/24/2013 4:23 PM
8	I have lived here all of my life and Bethalto is conveniently located and close to everything. With the addition of 255 it is easy to get just about anywhere in the region.	9/13/2013 1:45 PM
9	If I had did more homework on the tax base and had known about how much my taxes would go up, I never would have purchased my house in Madison County and in Bethalto.	9/13/2013 3:27 AM
10	I have to live here to work here. If I did not have to live here, I would live somewhere between Moro and Edwardsville. I do most of my shopping and eating out in Edwardsville.	8/14/2013 11:03 AM
11	Family moved us here	8/13/2013 11:47 PM
12	Excellent access to Interstates and all local urban, suburban, and rural areas	8/13/2013 9:01 PM

# Bethalto Community Survey

13	Bethalto's crime rate ( not serious crimes-- burglary, breaking and entering, Drugs) is going way up. Everyone gets a slap on the hand and go right back to where they were.	8/13/2013 8:23 PM
14	Need affordable housing for young adults.	8/13/2013 8:14 PM
15	Taxes are to high.	8/13/2013 7:38 PM
16	taxes too high	8/13/2013 3:08 PM

# Bethalto Community Survey

## Q9 What do you think are Bethalto's most urgent problems at this time?

Answered: 119 Skipped: 71

#	Responses	Date
1	Stagnation of village improvements from political parties	1/31/2014 4:03 PM
2	Road expansion which has improved with the West Corbin and the road in front of the police station. Flooding on West Corbin and Second street.	1/31/2014 3:55 PM
3	Generating tax revenue	1/31/2014 3:51 PM
4	Keeping up with technology.	1/31/2014 3:49 PM
5	The debt on the new Sportsman Park. Half million dollars a year toward the loan to build the park and no way to pay back the principle!	1/31/2014 3:47 PM
6	To attract new business we need prime property, which the Airport owns. We need to clean up the entire town. (Business owners on 140 need to take some pride in their establishments.) They need to be held accountable for zoning violations. Infrastructure needs to be a priority. We need more community involvement.	1/31/2014 3:46 PM
7	Working relationship between PD and FD.	1/31/2014 3:39 PM
8	High property taxes for some that keep their house up but a block away the taxes can literally be 1/7 of the price because the house is in such disrepair.	1/31/2014 3:36 PM
9	Traffic congestion on Illinois State Highway 140. Storm water runoff.	1/31/2014 3:27 PM
10	Lack of businesses. Everyone goes to the same place and it's too crowded. Also the water here is the worst I have ever seen. How someone hasn't gotten sick from I don't know. I won't even let my dogs drink this water.	12/29/2013 9:57 AM
11	Getting a handle on all the rental property. As renters move in they don't maintain the property causing a decrease in value to us home owners	12/26/2013 10:42 AM
12	sewer systems	12/18/2013 11:34 PM
13	Police having their hands in the pockets of the people and business	12/4/2013 5:03 PM
14	140 road needs to be made two lanes both ways. From Prairie to Quick trip. There is too many accidents at the stop light at yellow dog market, and during rush hour it gets backed up from the areas listed above.	11/5/2013 8:22 AM
15	Schools. For the taxes we pay the schools should look better.	11/4/2013 12:47 PM
16	Property taxes are very high. For a single person, with no children.	10/28/2013 5:45 PM
17	We need to present ourselves as a wonderful, safe, beautiful, healthy place to live. We have so much to offer in this community. Let's make our town beautiful and attractive. Let's make it a great place to raise children. Let's make it a great place to retire. We need to encourage healthy lifestyles. We can do this by creating great outdoor parks, exercise paths, and children's problems. Also more education opportunities for healthy leaving and parenting.	10/22/2013 4:17 PM
18	I don't know of any	10/15/2013 11:20 AM
19	We're increasingly becoming a "bedroom" community - residents just sleep here. They go to neighboring communities to spend their money on entertainment / shopping / food. If there was a way to provide those close to home on a less "commercialized Big Box store" type of way, that would keep money in our community.	10/14/2013 1:26 PM
20	teen crimes, breaking into houses, cars etc...	10/13/2013 5:29 PM
21	Mostly just a lack of businesses. Our family usually goes to the surrounding towns, such as Alton or Edwardsville, to get what we need since we don't have a lot of places here.	10/8/2013 7:50 PM
22	Common Core curriculum that is being taught in the schools.	10/6/2013 12:39 PM

## Bethalto Community Survey

23	Need more businesses to bring in more tax money. Possibly manufacturing....	10/4/2013 2:15 PM
24	Madison County's Real estate tax policies.	10/3/2013 12:22 PM
25	recognizing that we are large enough to expand in a direction to keep and attract new people. Our taxes are very high in our subdivisions and it discourages new buyers.	10/3/2013 10:43 AM
26	I think Bethalto is a great community with few "urgent" problems. I think Bethalto's only long-term problem is the lack of commerce in town. I feel that the tax base is not diversified; it relies too much on single-family residences. If residential real estate prices ever dropped, the city may suffer. I think more businesses would bring long term stability.	10/3/2013 9:54 AM
27	Congestion at 140/111/255	10/1/2013 2:44 PM
28	Overall appearance. You have to drive by all of the signage on 140 to get to any neighborhood. I would stop at that point and never make it to any of our new subdivisions. 140 is a mess	9/30/2013 1:51 PM
29	Lack of affordable rentals, high property taxes	9/27/2013 8:47 PM
30	New leader needed for the Fire Department! Rich has run off too many experienced people!	9/25/2013 6:50 AM
31	High school drop out rates. Quality of schools.	9/24/2013 6:51 PM
32	It seems like the citizens of bethalto do not support their local businesses, which is a shame!	9/24/2013 4:39 PM
33	people leave town to shop, no clothing stores, nothing to do on fri/sat nites beside bars	9/24/2013 4:23 PM
34	Traffic, the ned for an interghange at Culp In. it's realignment and the push-through of Buchta Ln to rt. 111.	9/14/2013 8:13 PM
35	Lack of business tax dollars.	9/14/2013 1:00 PM
36	I honestly don't know. This survey is making me realize I live pretty comfortably...enough so that I'm not aware of many issues. I guess I'd say to keep investing in our youth and our elders -- the youth always need help, and the elders deserve it. I'm scrolling back up from question 11 -- as far as incentives for new business, that's fine -- but I wouldn't go overboard and deplete resources trying to drum new business into town...I feel that if it's a good fit for the community AND the new business, then they should be successful, and an incentive won't make or break that. Hope that makes sense.	9/13/2013 4:03 PM
37	Poor performance in tbe school district. Administration needs to stop pretending that there is no drug/alcohol problem at CM.	9/13/2013 3:17 PM
38	Growth management.	9/13/2013 3:16 PM
39	Needing to attract more business	9/13/2013 3:13 PM
40	Need business besides fast food. You can only buy a pair of underwear at Dollar General. Other than that, you cant even buy clothing in town. And lower the taxes. geesh!	9/13/2013 2:52 PM
41	It would be nice to see the Sportsman's Park utilized more. It is an excellent facility and is being enlarged. It would be great to drive by and see people using the facilities to its capacity, not just one or two diamonds or fields.	9/13/2013 1:45 PM
42	Housing maintenance in some areas and traffic.	9/13/2013 12:32 PM
43	Traffic on 140, street and sidewalk conditions in some neighborhoods. High property taxes (school district) and decreasing performance of the school district	9/13/2013 12:05 PM
44	Keeping businesses. Residents using the businesses.	9/13/2013 8:30 AM
45	Traffic flow should be addressed, during "rush hour" the town gets very congested, what ways are there to reduce congestion and open roads.	9/13/2013 7:11 AM
46	Lack of business growth and too many dilapidated business fronts for a small community. More curb appeal the better	9/13/2013 6:59 AM
47	Businesses leaving our town, county and state. Taxes are crippling the economy of Bethalto, Madison County, and Illinois. Business in our neighboring states of Missouri, Indiana and Wisconsin are growing while we die.	9/13/2013 3:27 AM
48	old sewer pipes	9/12/2013 5:00 PM

## Bethalto Community Survey

49	I think you should not have to be a family member to get a job with the city. Those jobs seem to be only 'who knows who'. More jobs for kids in the summertime to give them work incentives. Keeps them from getting into trouble.	9/10/2013 6:08 PM
50	High tax rates due to no business taxes	9/10/2013 5:48 PM
51	Roads are not sufficient to handle current traffic.	9/9/2013 12:50 AM
52	We need business that can stay and make money	9/8/2013 9:44 PM
53	Lowering taxes. Not sure what we get for our dollar. This is especially true with having top heavy county government.	9/2/2013 10:03 AM
54	The lack of local business.	8/22/2013 11:24 PM
55	Not attracting young college educated families with school age children.	8/22/2013 10:22 PM
56	Ball Fields are under utilized! Village doesn't offer enough recreation for the adults and children of the community!	8/22/2013 6:43 PM
57	build a tax base outside of residential property tax	8/22/2013 4:49 PM
58	roads,lack of new businesses	8/19/2013 8:30 PM
59	To Address The State Gaming Laws To Let business's Like Mine To Have Video Gaming Right Now My People Leave And Drive 5 min To Spend Their Money	8/17/2013 5:35 PM
60	The lack of attracting commuter traffic, and the eye appeal of those commuters.	8/17/2013 4:30 PM
61	The town does not make a good first impression.	8/16/2013 4:09 PM
62	Lack of any job producing industry and overall appearance of the village.	8/16/2013 8:07 AM
63	need commercial development, full time fire service	8/15/2013 6:41 PM
64	Ratio of parking spaces for new businesses It's minor, but some increased vigilance for moving traffic violations.	8/15/2013 10:41 AM
65	Quality of water is terrible.	8/14/2013 10:03 PM
66	Properties are not being maintained by either homeowners or renters	8/14/2013 6:35 PM
67	Creating a business based tax base	8/14/2013 3:50 PM
68	The public is very closed minded on making changes, because of low crime, peaceful place to live, recreational facilities, great school & programs.	8/14/2013 3:47 PM
69	Not enough businesses	8/14/2013 2:03 PM
70	More avenues of revenue Communication	8/14/2013 11:10 AM
71	We seem to be having problems with our storm sewers/drainage system. Infrastructure. A lot of areas in town look run down and residents don't seem to care about the appearance of their property.	8/14/2013 11:03 AM
72	Traffic on Route 140, storm water issues, lack of business development, unfilled residential subdivisions	8/14/2013 10:44 AM
73	We need to be more concerned about our infrastructure. We need to be updating our water, sewer, storm sewers slowing every year to keep up. We seem to wait until we have a problem before we do anything about it. I like the fact we have nice parks BUT I think other things should be looked at. I read where we got a grant for 400,000.00 but are spending 1 million. You only spend what you can actually afford.	8/14/2013 10:06 AM
74	Growth opportunities for business	8/14/2013 9:41 AM
75	lack of business growth & development	8/14/2013 9:25 AM
76	Tax revenues from business or lack of	8/14/2013 7:47 AM
77	none come to mind at this time.	8/14/2013 7:36 AM
78	The Schools are losing there accreditation!!!!!! This is a huge problem!	8/14/2013 6:44 AM
79	NEW BUSINESS AND GROWTH, SCHOOLS	8/14/2013 1:56 AM

## Bethalto Community Survey

80	Growth in population and school enrollment. I know this is more of a school board issue, but I feel the quality of the schooling has dropped over the last several years.	8/13/2013 11:54 PM
81	Lack of business development and the politics preventing such to bloom. Also, there's really nothing to do within city limits and no one to really tell that to.	8/13/2013 11:47 PM
82	Storm water management, increasing business opportunity, increasing recreational opportunities for individuals with disabilities, positive venue for teens.	8/13/2013 10:54 PM
83	Vacant homes. Schools failing. No restaurants worth anything.	8/13/2013 10:28 PM
84	The decreasing quality of its schools. The rain water/flooding problems.	8/13/2013 9:25 PM
85	Replacing high school parking lot. Building walking/ biking trails	8/13/2013 9:23 PM
86	Business to the airport	8/13/2013 9:17 PM
87	Lack of tax revenue producing businesses	8/13/2013 9:16 PM
88	Retaining existing industry and attracting new industry. Improving the quality of education.	8/13/2013 9:01 PM
89	140 traffic	8/13/2013 8:14 PM
90	Could use a few more businesses.	8/13/2013 8:14 PM
91	Police and the community	8/13/2013 8:02 PM
92	Property taxes are too high	8/13/2013 7:54 PM
93	Taxes are too high. New businesses can't succeed.	8/13/2013 7:38 PM
94	Schools are horrible now	8/13/2013 7:08 PM
95	Schools. High school teachers need to be observed and judged based on performance. If I performed at work as poorly as some of my teachers at CM while I was there from 2003-2007, I would lose my job.	8/13/2013 6:38 PM
96	Giving students the direction they need in order to get into better colleges, aka guidance counseling. After attending Bethalto Unit schools my entire life and now living out of the state, I feel like our schools have let me down. We need to make students more aware of test placement programs at the state and national levels. Programs like IB and AP courses are ABSOLUTELY CRUCIAL! We currently offer zero opportunities to take IB and AP courses where much larger districts offer these standard. This is not only putting our children at an immediate disadvantage, but also effects their chance at achieving success in a shrinking professional workforce. The benefits of these programs heavily outweigh the cost!	8/13/2013 6:27 PM
97	Taxes	8/13/2013 6:03 PM
98	don't know	8/13/2013 6:02 PM
99	Lack of employment and businesses. We need to give people a direct reason to live in Bethalto. Bethalto needs to be a place to live and work. Right now, it is only a place that people live.	8/13/2013 5:51 PM
100	Business development	8/13/2013 5:10 PM
101	Congestion on 140! It needs to be 4 lanes.	8/13/2013 5:08 PM
102	Lack of income generating businesses...we need revenue for growth and schools.	8/13/2013 5:01 PM
103	High tax rate for the county itself and the need for a parks and rec department in the village.	8/13/2013 4:48 PM
104	Seeing people leave the legion who has had way too much to drink. Has no respect for the residential area they are in and are so loud you can not even have your windows open at night.	8/13/2013 4:42 PM
105	Stagnant commercial development.	8/13/2013 4:23 PM
106	we need to keep up with the crimes that are occurring in the neighborhoods. I know it may not be real bad now but we want to stay on top of it.	8/13/2013 4:22 PM
107	Our school scores seem to be decreasing.	8/13/2013 4:16 PM
108	Dealing with the airport, bringing in new business, and upgrading the streets.	8/13/2013 4:03 PM
109	Side streets and drainage	8/13/2013 4:02 PM

## Bethalto Community Survey

110	Street conditions, especially around our schools. (East, JR High) are awful and embarrassing. 140 too congested through town should be made 4 lane.	8/13/2013 3:41 PM
111	Stom Flooding Need retail development	8/13/2013 3:28 PM
112	development and get the airport out of our way	8/13/2013 3:08 PM
113	Schools and taxes	8/13/2013 2:27 PM
114	Youth activities and school performance.	8/13/2013 1:53 PM
115	decent sidewalks and storm drainage	8/13/2013 1:47 PM
116	Supporting current businesses so that they stay in business. Park and Rec. dept. so that we can have an influx of people/\$\$ to help village and businesses. Our residents are going to wood river or alton to play ball, see concerts, attend block parties, etc.	8/13/2013 1:46 PM
117	Age of infrastructure like sewers.	8/13/2013 1:44 PM
118	Need more families to move into town Need more jobs Need more commercial/places of business Property taxes too high and inconsistent	8/13/2013 1:41 PM
119	Tax base. Businesses. Employment.	8/13/2013 1:36 PM

# Bethalto Community Survey

## Q10 What do you like best about Bethalto? What needs to be preserved and enhanced?

Answered: 109 Skipped: 81

#	Responses	Date
1	Stabilize the older neighborhoods	1/31/2014 4:03 PM
2	Community feeling. Not overgrown. Not overly commercialized. Enhance the park and pool area.	1/31/2014 3:55 PM
3	Police Department is a well oiled machine. I feel they could use more officers per shift. The fire department needs to be full time with fully trained and tested employees	1/31/2014 3:51 PM
4	Hometown feel.	1/31/2014 3:49 PM
5	The schools!	1/31/2014 3:47 PM
6	My opinion of Bethalto has changed over the years. It is starting to look like East Alton. We have awesome parks but we need to focus on the town as a whole. I would love to see more community involvement. I would like to see the town more involved in the beautification of our community. We are a stagnant small town.	1/31/2014 3:46 PM
7	It is a perfect transition between cosmopolitan St. Louis and rural Illinois.	1/31/2014 3:27 PM
8	Low crime rate.	12/29/2013 9:57 AM
9	Community feeling	12/26/2013 10:42 AM
10	schools..	12/18/2013 11:34 PM
11	Sheriff dept.	12/4/2013 5:03 PM
12	It is a great city for kids. Great school and Athletic programs.	11/5/2013 8:22 AM
13	I would like to see a Old Fashion Homecoming.	10/28/2013 5:45 PM
14	I love the small town feel. I appreciate our pride in our schools and children (for the most part). I love our library and Culp Lane Park and Sports Complex. I love that we want to build on to the Complex. I also hear we are improving Field of Dreams. I am so happy and supportive of that. I love Bethalto!	10/22/2013 4:17 PM
15	The people A town square atmosphere is close but not quite there	10/15/2013 11:20 AM
16	I love our small town feel.	10/14/2013 1:26 PM
17	small community, close to metropolitan area. Improvement at the Village to follow through with promises to homeowners.	10/13/2013 5:29 PM
18	Low crime rate.	10/6/2013 12:39 PM
19	I like that it is quite and I feel safe.	10/3/2013 10:43 AM
20	The original restaurants Romas and Geno's.	10/3/2013 10:25 AM
21	Great schools, almost no crime. Bethalto is full of good families who generally take pride in their community. Great place to raise my family.	10/3/2013 9:54 AM
22	Parks and community events	10/1/2013 2:44 PM
23	It is what it is..smalltown	9/30/2013 1:51 PM
24	Quality area to live. Excellent schools.	9/27/2013 8:47 PM
25	The "sleepy" community with a "Mayberry" feel. This is the only place I've lived where I can see my taxes being used to enhance the community. I absolutely love the current Bethalto and its friendly residents. Love walking in the beautiful parks that are so well taken care of. Thank you Village Board!	9/25/2013 12:55 PM

## Bethalto Community Survey

26	Keep the small town feel even if we become more than just a bedroom community.	9/24/2013 6:51 PM
27	Hummdingers, Roma's, and culp lane park. As for preserving...the small home feel. I love when the seasonal decorations go up :)	9/24/2013 4:39 PM
28	the education of our children is most important, keeping the children safe and give them somewhere to be that is safe	9/24/2013 4:23 PM
29	NO WALMART!!!!!!!!!!!!!! It's present bedroom community aire.	9/14/2013 8:13 PM
30	The schools need all the support they can get. It is our only true asset.	9/14/2013 1:00 PM
31	I love the small town feel it still has.	9/13/2013 4:59 PM
32	I like the "community" feel -- not too big or too small.	9/13/2013 4:03 PM
33	Great parks	9/13/2013 3:17 PM
34	I love that it is a small quiet, safe community that is close to my family	9/13/2013 3:13 PM
35	I realize that Bethalto needs to grow a larger tax base, but I don't want it to lose its small town feel.	9/13/2013 1:45 PM
36	I love the small town feel and safe community. I love the fact that my daughters will be able to walk to school that is a few blocks away and feel safe.	9/13/2013 12:32 PM
37	peaceful atmosphere	9/13/2013 12:07 PM
38	small town but close to 255. Don't let the housing stock and empty lots become too prevalent. There are already too many empty subdivision lots	9/13/2013 12:05 PM
39	Small town feel. More green space.	9/13/2013 8:30 AM
40	Love Culp Park and it's open green space for my whole family to enjoy.	9/13/2013 7:26 AM
41	Love the small town feel, that's why we moved to Bethalto. That charm is lost among so many IL town as of late.	9/13/2013 7:11 AM
42	Great cooperative spirit among the local churches. I like being so close to the country and yet so close to a major city. I am pleased that our new mayor seems truly interested in listening and learning from the citizens and is developing a vision for our growth as a community.	9/13/2013 3:27 AM
43	small town appeal. I think it needs to grow, but not become a bigger city like Alton or Edwardsville.	9/12/2013 5:00 PM
44	The area of Kliens and the old area of town.	9/10/2013 6:08 PM
45	I love the rural feel of the outskirts of town	9/10/2013 5:48 PM
46	old buildings	9/9/2013 3:09 PM
47	Small town charm	9/8/2013 10:19 PM
48	It is safe and looks nice	9/8/2013 9:44 PM
49	Best- Sidewalks in the new developments. Roads need enhanced. The tar and rocking of the roads every other year is a pain for residents. The rocks chip paint on cars. Cars that are left outside a garage are covered in dust for months after the roads are rocked. Children have a hard time playing on the streets after they are rocked. Please figure another way to maintenance the roads.	9/2/2013 10:03 AM
50	I love the community wanting to be one.	8/22/2013 11:24 PM
51	Very secure community.	8/22/2013 10:22 PM
52	Small town feel but growth in business school and resources	8/22/2013 6:40 PM
53	Schools and small town feel.	8/22/2013 5:02 PM
54	its heritage. support it, build on it, share it.	8/22/2013 4:49 PM
55	home town feeling, safety and schools Need to increase sidewalks in residenial areas	8/19/2013 8:30 PM
56	Local Business	8/17/2013 5:35 PM
57	the residents commitment to Bethalto and family life.	8/17/2013 4:30 PM
58	Community spirt.	8/16/2013 4:09 PM
59	Small town living.	8/16/2013 8:07 AM

## Bethalto Community Survey

60	i like the small community atmosphere	8/15/2013 6:41 PM
61	I love the trees on Erwin Plegge (spelling?). Beautiful. Also, I like the downtown area with the old school building, etc. Why don't we promote that more?	8/14/2013 10:03 PM
62	Friendliness of the community. Continue to improve the schools.	8/14/2013 6:35 PM
63	It's history and friendly atmosphere need to be perseve	8/14/2013 3:50 PM
64	Low Crime, Enhance-heathier businesses	8/14/2013 3:47 PM
65	I love Bethalto. More community events.	8/14/2013 11:10 AM
66	It's close to the Interstate.	8/14/2013 11:03 AM
67	Small town atmosphere, safety (both need to be preserved)	8/14/2013 10:44 AM
68	The new concrete streets! Hate oil and chip roads...	8/14/2013 9:41 AM
69	the small town atmosphere while still being close to larger areas including Edwardsville, Fairview Heights and St. Louis	8/14/2013 9:25 AM
70	Strong comunity support	8/14/2013 7:47 AM
71	Friendly, down home feeling community.	8/14/2013 7:36 AM
72	The old building downtown by post office	8/14/2013 6:44 AM
73	SMALL TOWN	8/14/2013 1:56 AM
74	It's home. I don't have to worry too much about crime and people usually leave you well enough alone. Prairie St, the library, and the parks all need to be preserved and definitely enhanced.	8/13/2013 11:47 PM
75	Low crime rate! Low taxes- well as low as Illinois can be low.	8/13/2013 10:28 PM
76	I like the parks and the arboretum and would love to see some bike paths.	8/13/2013 9:25 PM
77	The parks and schools are the best. Anything for young families always helps build a town.	8/13/2013 9:17 PM
78	Low crime rate and its dedicated fire department	8/13/2013 9:16 PM
79	Overall stability and efficiency of the city government	8/13/2013 9:01 PM
80	Very nice place to live.	8/13/2013 8:23 PM
81	I feel safe living in Bethalto, but not quite as safe as years ago.	8/13/2013 8:14 PM
82	I would like to see the small town atmosphere preserved. Maybe because I grew up here and always felt my childhood offered something I couldn't get anywhere else. I wanted this for my kids.	8/13/2013 8:02 PM
83	Small town community atmosphere	8/13/2013 7:54 PM
84	Familiar. Friendly. First Baptist Church!	8/13/2013 7:38 PM
85	Good safe community	8/13/2013 7:08 PM
86	The family owned businesses are what make Bethalto great. Expansion of these types of places should be protected, while also not infringing the ability of larger companies from moving into town.	8/13/2013 6:38 PM
87	I love almost everything about Bethalto. The tranquility, the people, and most of all QT. As a minor priority, the cities history must be improved and built upon!	8/13/2013 6:27 PM
88	Culp lane park	8/13/2013 6:03 PM
89	affordable and physically attractive	8/13/2013 6:02 PM
90	Certain traditions such as the Bethalto Homecoming should be around forever. For Heaven's sake, keep the street signs white and black. That mixup on Roosevelt is driving me nuts. I like that it has an airport. I believe that the airport needs to be expanded and made more of a part of the community. The town has some beautiful parks, but it needs to become more walkable so that we can get to those parks. Bethalto is a great place to live and learn. Our neighborhoods need to be cleaned up to their utmost level and our schools need to be pushed hard. We have the capability. We just need to stay focused.	8/13/2013 5:51 PM
91	Small town feel. Need more adult activity opportunities at parks.	8/13/2013 5:08 PM

## Bethalto Community Survey

92	Small town feel	8/13/2013 5:01 PM
93	Low crime rate. Road and drainage improvements .	8/13/2013 4:48 PM
94	Coal mine history	8/13/2013 4:23 PM
95	I feel it is a safe place to live. I like the police department and trust the fire department. I feel the government works well with the public. Keeping their needs in mind.	8/13/2013 4:22 PM
96	I love living here. Good traffic routes, clean village.	8/13/2013 4:16 PM
97	It is a great place to raise a family.	8/13/2013 4:03 PM
98	Love this place	8/13/2013 4:02 PM
99	Small town feel. Clean.	8/13/2013 3:41 PM
100	Friendly, small town feel. Historic Buildings, parks	8/13/2013 3:28 PM
101	schools	8/13/2013 3:08 PM
102	Schools	8/13/2013 2:38 PM
103	I like the school district and believe we should go back to neighborhood schools.	8/13/2013 2:27 PM
104	Community/Neighbors are really great. Small town feel but near major city.	8/13/2013 1:53 PM
105	the small town feel and pride	8/13/2013 1:47 PM
106	Close knit people. We need to treat everyone as equals and have some compassion.	8/13/2013 1:46 PM
107	People are nice.	8/13/2013 1:44 PM
108	Small town feel. Great first responders Great village leadership	8/13/2013 1:41 PM
109	It is home. Small town and that needs to be protected but it is becoming expensive to stay here.	8/13/2013 1:36 PM

# Bethalto Community Survey

## Q11 Here are some statements about Bethalto. Please indicate how you feel about each statement by checking the box that matches your opinion.

Answered: 189 Skipped: 1

	Strongly Agree	Agree	Disagree	Strongly Disagree	N/A	Total	Average Rating
I am satisfied with things as they are.	2.66% 5	40.43% 76	48.40% 91	6.38% 12	2.13% 4	188	2.60
The future of Bethalto is bright.	10.64% 20	59.04% 111	25% 47	3.72% 7	1.60% 3	188	2.22
The Village should provide financial incentives to encourage new business development.	39.25% 73	40.32% 75	15.59% 29	3.76% 7	1.08% 2	186	1.84
If I had a friend looking to buy a house I would recommend Bethalto.	34.95% 65	51.08% 95	9.68% 18	2.69% 5	1.61% 3	186	1.80
More should be done by local officials to create jobs and new business development.	42.25% 79	45.99% 86	7.49% 14	0.53% 1	3.74% 7	187	1.65
Bethalto has an excellent school system.	26.74% 50	41.71% 78	21.39% 40	5.35% 10	4.81% 9	187	2.06
Our police department is doing an effective job in keeping our crime rate low.	41.40% 77	48.39% 90	6.45% 12	3.76% 7	0% 0	186	1.73

# Bethalto Community Survey

## Q12 How important are the following community improvement projects and ideas?

Answered: 189 Skipped: 1

	Very Important	Important	Somewhat Important	Not Important	Total	Average Rating
Increasing opportunities for residents to volunteer for community projects.	26.88% 50	46.24% 86	20.97% 39	5.91% 11	186	2.06
Finding new uses for downtown buildings.	48.66% 91	40.64% 76	9.09% 17	1.60% 3	187	1.64
Reducing Crime.	38.92% 72	41.08% 76	17.84% 33	2.16% 4	185	1.83
Development of the St. Louis Regional Airport property.	33.33% 62	22.58% 42	16.67% 31	27.42% 51	186	2.38
Fixing drainage problems.	55.85% 105	32.98% 62	11.17% 21	0% 0	188	1.55
Increasing community pride.	45.41% 84	41.08% 76	11.89% 22	1.62% 3	185	1.70
Cleaning up and improving the appearance of private property.	47.09% 89	35.98% 68	15.34% 29	1.59% 3	189	1.71
Cleaning up and improving the appearance of public property.	51.32% 97	38.10% 72	8.99% 17	1.59% 3	189	1.61

#	Do you have any other ideas for community improvement projects?	Date
1	Connecting the bike trail	1/31/2014 3:51 PM
2	Be more open to new ideas as well as responding in a better way to criticism.	1/31/2014 3:47 PM
3	Improve traffic flow. Retain a traffic engineering consultant. Retain a lobbyist to secure highway funding for highway 140.	1/31/2014 3:27 PM
4	Stop people from letting there yards look like a jungle.	1/31/2014 3:24 PM
5	Yes fire everyone in the police and start over. Mall security is better.	12/4/2013 5:03 PM
6	The by-laws for improvemnet project need to be more friendly for residents that want to improve their property, but are being forced to cancelled or are punished by not being allowed to do to city rules written over a decade ago. Again, the city is starting to attract younger families, and we as a community need to lose the old man mind frame.	11/5/2013 8:22 AM
7	Bike trails! We have great parks but longer trails that are worth using for bike exercise are lacking.	10/14/2013 1:26 PM
8	retail businesses in the airport area	10/10/2013 9:44 PM
9	Helping the elderly. Something that focuses on getting middle and high schoolers to volunteer. Would love see a community garden. Farmers market on sat mornings	9/24/2013 4:39 PM
10	fix the drainage problem some body is going to wreck into a pump one day and die.	9/13/2013 2:52 PM
11	Try to find a way to make people show more interest in the community. Also find a way to let people know more about what is going on in the community. there are less Telegraph subscribers lately, so I am not sure that is a good vehicle to use.	9/13/2013 1:45 PM
12	Maybe we can have community volunteers pick a house to clean up the yard every quarter. Not necessarily provide landscaping, but just cleaning up the yard itself for an edery person.	9/13/2013 12:32 PM
13	Community Garden Entertainment for all ages	9/13/2013 12:07 PM
14	Volunteer clean up days. Comer plantings	9/13/2013 8:30 AM

## Bethalto Community Survey

14	volunteer clean up days, corner plantings.	8/13/2013 8:30 AM
15	replace the oil and chip roads in housing communities. Improve and maintain sidewalks. Increase and improve marked bike lanes.	9/13/2013 3:27 AM
16	Overall improvement to the 255 / 140 intersection. Will not attract any traffic moving through town with that intersection.	8/22/2013 10:22 PM
17	Build a new pool or water park	8/19/2013 8:30 PM
18	New and improved sidewalks.	8/16/2013 4:09 PM
19	Fix the sign in front of Village Hall and make it current with announcements involving the Village. I think it is one of the reasons the attendance at the Concerts in the Park was so low.	8/14/2013 11:10 AM
20	Where is our Spirit group and what do they really do? Why can't they water the flowers uptown and on Prairie St. and do other volunteer jobs like that? It seems that the people of Bethalto don't want to get involved much. From what I understand we are even having trouble finding drivers for the senior bus. Also, we do a lot for the schools, what do they do for us? It would be a good idea for the parents/students to do more volunteer work.	8/14/2013 11:03 AM
21	I think the school system should have alot more voluteering of their students, parents, teachers. The Village supplies alot services for them (Parks, Sports Fields) and I think it would be nice if they had groups that maintained various areas of the town. This would also include the Boys & Girls club assisting. (we do alot for them also)	8/14/2013 10:06 AM
22	New community water park , Infrastructure upgrades	8/14/2013 7:47 AM
23	Not at this time.	8/14/2013 7:36 AM
24	Health fairs provided by local hospitals or universities (SIUE School of Pharmacy pharmacy@siue.edu)	8/13/2013 11:47 PM
25	We need sidewalks and extension of bike trails from Edwardsville.	8/13/2013 10:27 PM
26	Larger outdoor pool with early hours.	8/13/2013 7:38 PM
27	What if we set up an ID/Fee swap for recreational materials and toys via the staff already employed at the pool's concessions? Things like footballs, basketballs, and even tennis rackets an skateboards. This idea could bring in minor revenues to the city and give children and adults even more things to do in our parks!	8/13/2013 6:27 PM
28	Make Prairie and West Central a vibrant downtown. Make the schools the best in the county/state. Hold block parties like Alton does.	8/13/2013 5:51 PM
29	Water Park Great signage when you come into the village from 140 and from 111.	8/13/2013 4:16 PM
30	Pool Upgrades Flowers, Banners, etc. along the main roads	8/13/2013 3:28 PM
31	get rid of the airport so it can be privately developed	8/13/2013 3:08 PM
32	Fitness club or challenge. Quit smoking, lose weight, etc.	8/13/2013 1:53 PM
33	beautification of blighted areas and encouraging homeowners to take pride in their properties even if they are rentals.	8/13/2013 1:47 PM
34	Highway 140 through town needs to have a better look. People passing through have no clue as to businesses away from 140, or that we are a great little village.	8/13/2013 1:46 PM
35	Sidewalks and bike paths.	8/13/2013 1:45 PM

## Bethalto Community Survey

### Q13 What 3 words would you use to describe the Village of Bethalto?

Answered: 130 Skipped: 60

Answer Choices	Responses
1.	100% 130
2.	97.69% 127
3.	91.54% 119

#	1.	Date
1	Outdated	1/31/2014 4:03 PM
2	Home	1/31/2014 3:55 PM
3	Friendly	1/31/2014 3:51 PM
4	Hometown	1/31/2014 3:49 PM
5	Bedroom community	1/31/2014 3:47 PM
6	clean	1/31/2014 3:36 PM
7	small	12/29/2013 9:57 AM
8	Nice	12/26/2013 10:42 AM
9	hometown	12/18/2013 11:34 PM
10	Crooked cops	12/4/2013 5:03 PM
11	school pride	11/5/2013 8:22 AM
12	friendly	11/4/2013 12:47 PM
13	Unique	10/22/2013 4:17 PM
14	conservative	10/20/2013 10:16 PM
15	friendly	10/15/2013 11:20 AM
16	small town	10/15/2013 10:35 AM
17	Comfortable	10/14/2013 1:26 PM
18	Clean	10/13/2013 10:34 PM
19	close to I-255	10/13/2013 5:29 PM
20	small	10/10/2013 9:44 PM
21	Safe	10/8/2013 7:50 PM
22	Clicky	10/6/2013 12:39 PM
23	interested	10/3/2013 10:43 AM
24	Quiet	10/3/2013 10:25 AM
25	Quiet	10/3/2013 9:54 AM
26	Emerging	10/1/2013 2:44 PM
27	quiet	9/30/2013 1:51 PM
28	home	9/28/2013 9:37 AM
29	homey	9/27/2013 8:47 PM

## Bethalto Community Survey

30	Wonderful	9/25/2013 12:55 PM
31	Small town	9/24/2013 6:51 PM
32	Safe	9/24/2013 4:55 PM
33	Tradition	9/24/2013 4:39 PM
34	family	9/24/2013 4:23 PM
35	quaint	9/14/2013 8:13 PM
36	close knit	9/14/2013 1:00 PM
37	Home	9/13/2013 4:59 PM
38	clannish	9/13/2013 3:17 PM
39	Affordable	9/13/2013 3:16 PM
40	safe	9/13/2013 3:13 PM
41	lower	9/13/2013 2:52 PM
42	quiet	9/13/2013 1:45 PM
43	Smaller	9/13/2013 12:32 PM
44	home	9/13/2013 12:07 PM
45	stable	9/13/2013 12:05 PM
46	quiet	9/13/2013 8:30 AM
47	Small	9/13/2013 7:26 AM
48	Safe	9/13/2013 7:11 AM
49	easy	9/13/2013 6:59 AM
50	potential	9/13/2013 3:27 AM
51	Safe	9/10/2013 6:08 PM
52	Quaint	9/10/2013 5:48 PM
53	caring	9/9/2013 3:09 PM
54	Small	9/8/2013 10:19 PM
55	beautiful	9/8/2013 9:44 PM
56	close knit	8/22/2013 11:24 PM
57	Crossroads	8/22/2013 10:22 PM
58	Proud	8/22/2013 7:17 PM
59	Friendly	8/22/2013 6:43 PM
60	Home	8/22/2013 6:40 PM
61	small	8/22/2013 5:02 PM
62	quiet	8/22/2013 4:49 PM
63	Close knit	8/21/2013 2:31 PM
64	homey	8/19/2013 8:30 PM
65	Small Town	8/17/2013 5:35 PM
66	Blue collar values	8/17/2013 4:30 PM
67	1955	8/16/2013 4:09 PM
68	Family	8/16/2013 8:07 AM
69	nice	8/15/2013 6:41 PM

## Bethalto Community Survey

70	Dirty (when kids toss garbage out of cars onto street)	8/14/2013 10:03 PM
71	clicky	8/14/2013 8:32 PM
72	our	8/14/2013 6:35 PM
73	clickish	8/14/2013 4:18 PM
74	home	8/14/2013 3:50 PM
75	Peaceful	8/14/2013 3:47 PM
76	Older	8/14/2013 2:03 PM
77	Clean	8/14/2013 12:06 PM
78	Friendly	8/14/2013 11:10 AM
79	outdated	8/14/2013 11:03 AM
80	Friendly	8/14/2013 10:44 AM
81	Quiet	8/14/2013 10:20 AM
82	small	8/14/2013 10:06 AM
83	clique-ish	8/14/2013 9:41 AM
84	safe	8/14/2013 9:25 AM
85	quiet	8/14/2013 9:22 AM
86	Quant	8/14/2013 7:47 AM
87	Comfortable	8/14/2013 7:36 AM
88	Click associated	8/14/2013 6:44 AM
89	SMALL TOWN	8/14/2013 1:56 AM
90	Small	8/13/2013 11:47 PM
91	safe	8/13/2013 10:54 PM
92	Safe	8/13/2013 10:28 PM
93	Home	8/13/2013 10:27 PM
94	Family	8/13/2013 9:25 PM
95	Homey	8/13/2013 9:23 PM
96	Growing	8/13/2013 9:17 PM
97	Potential	8/13/2013 9:16 PM
98	established	8/13/2013 9:01 PM
99	Hometown	8/13/2013 8:23 PM
100	boring	8/13/2013 8:14 PM
101	Safe	8/13/2013 8:14 PM
102	Open	8/13/2013 8:02 PM
103	quaint	8/13/2013 7:54 PM
104	Home.	8/13/2013 7:38 PM
105	Good community	8/13/2013 7:08 PM
106	Homey	8/13/2013 6:38 PM
107	Safe	8/13/2013 6:27 PM
108	High taxes	8/13/2013 6:03 PM
109	affordable	8/13/2013 6:02 PM

## Bethalto Community Survey

110	Home	8/13/2013 5:51 PM
111	Friendly	8/13/2013 5:08 PM
112	Safe	8/13/2013 4:48 PM
113	Unkept	8/13/2013 4:35 PM
114	Friendly	8/13/2013 4:22 PM
115	Clean	8/13/2013 4:16 PM
116	Family-oriented	8/13/2013 4:03 PM
117	great	8/13/2013 4:02 PM
118	Generous	8/13/2013 3:28 PM
119	Schools	8/13/2013 3:20 PM
120	blue collar	8/13/2013 3:08 PM
121	Safe	8/13/2013 2:27 PM
122	Quiet	8/13/2013 2:06 PM
123	Friendly	8/13/2013 1:53 PM
124	comfortable	8/13/2013 1:47 PM
125	Quaint	8/13/2013 1:46 PM
126	Small town thinking its HUGE	8/13/2013 1:46 PM
127	Rural	8/13/2013 1:45 PM
128	Small	8/13/2013 1:44 PM
129	Warm	8/13/2013 1:41 PM
130	Small Town	8/13/2013 1:36 PM
<b>#</b>	<b>2.</b>	<b>Date</b>
1	Stagnate	1/31/2014 4:03 PM
2	Quality	1/31/2014 3:51 PM
3	Great place to live.	1/31/2014 3:49 PM
4	Safe	1/31/2014 3:47 PM
5	friendly	1/31/2014 3:36 PM
6	quiet	12/29/2013 9:57 AM
7	Safe	12/26/2013 10:42 AM
8	friendly	12/18/2013 11:34 PM
9	Thug Cops	12/4/2013 5:03 PM
10	great for young people	11/5/2013 8:22 AM
11	nice neighborhoods	11/4/2013 12:47 PM
12	Changing	10/22/2013 4:17 PM
13	shrinking	10/20/2013 10:16 PM
14	pretty	10/15/2013 11:20 AM
15	Safe	10/14/2013 1:26 PM
16	Efficient	10/13/2013 10:34 PM
17	quaint	10/13/2013 5:29 PM
18	safe	10/10/2013 9:44 PM

## Bethalto Community Survey

19	Clean	10/8/2013 7:50 PM
20	Blue collar	10/6/2013 12:39 PM
21	determined	10/3/2013 10:43 AM
22	friendly	10/3/2013 10:25 AM
23	Stable	10/3/2013 9:54 AM
24	Clean	10/1/2013 2:44 PM
25	smalltown	9/30/2013 1:51 PM
26	industry free	9/28/2013 9:37 AM
27	classic	9/27/2013 8:47 PM
28	Safe	9/25/2013 12:55 PM
29	Family Friendly	9/24/2013 6:51 PM
30	Quiet	9/24/2013 4:55 PM
31	Proud	9/24/2013 4:39 PM
32	education	9/24/2013 4:23 PM
33	stagnant	9/14/2013 8:13 PM
34	open the mind set of people	9/14/2013 1:00 PM
35	Familiar	9/13/2013 4:59 PM
36	small	9/13/2013 3:17 PM
37	Content	9/13/2013 3:16 PM
38	small	9/13/2013 3:13 PM
39	property	9/13/2013 2:52 PM
40	friendly	9/13/2013 1:45 PM
41	Safe	9/13/2013 12:32 PM
42	sweet	9/13/2013 12:07 PM
43	stagnant	9/13/2013 12:05 PM
44	family-oriented	9/13/2013 8:30 AM
45	Close	9/13/2013 7:26 AM
46	Convenient	9/13/2013 7:11 AM
47	simple	9/13/2013 6:59 AM
48	opportunity	9/13/2013 3:27 AM
49	Clean town	9/10/2013 6:08 PM
50	Friendly	9/10/2013 5:48 PM
51	home	9/9/2013 3:09 PM
52	Friendly	9/8/2013 10:19 PM
53	upcoming	9/8/2013 9:44 PM
54	safe	8/22/2013 11:24 PM
55	Identity	8/22/2013 10:22 PM
56	Community	8/22/2013 7:17 PM
57	Great	8/22/2013 6:43 PM
58	Comfortable	8/22/2013 6:40 PM

## Bethalto Community Survey

59	friendly	8/22/2013 5:02 PM
60	home	8/22/2013 4:49 PM
61	Slow growth	8/21/2013 2:31 PM
62	friendly	8/19/2013 8:30 PM
63	Nice	8/17/2013 5:35 PM
64	Family values are very important	8/17/2013 4:30 PM
65	Bottleneck	8/16/2013 4:09 PM
66	Sports	8/16/2013 8:07 AM
67	small	8/15/2013 6:41 PM
68	inexpensive	8/14/2013 10:03 PM
69	nosey	8/14/2013 8:32 PM
70	friendly	8/14/2013 6:35 PM
71	friendly	8/14/2013 3:50 PM
72	Safe	8/14/2013 3:47 PM
73	Quiet	8/14/2013 2:03 PM
74	Quaint	8/14/2013 12:06 PM
75	Home	8/14/2013 11:10 AM
76	lenient	8/14/2013 11:03 AM
77	Safe	8/14/2013 10:44 AM
78	Friendly	8/14/2013 10:20 AM
79	outdated	8/14/2013 10:06 AM
80	clean	8/14/2013 9:41 AM
81	quiet	8/14/2013 9:25 AM
82	home town	8/14/2013 9:22 AM
83	Quiet	8/14/2013 7:47 AM
84	Friendly	8/14/2013 7:36 AM
85	Trying to be edwardsville	8/14/2013 6:44 AM
86	OLDER	8/14/2013 1:56 AM
87	Wholesome	8/13/2013 11:47 PM
88	inviting	8/13/2013 10:54 PM
89	Cheap	8/13/2013 10:28 PM
90	Friendly	8/13/2013 10:27 PM
91	Proud	8/13/2013 9:25 PM
92	Quaint	8/13/2013 9:23 PM
93	Quiet	8/13/2013 9:17 PM
94	Home	8/13/2013 9:16 PM
95	growth potential	8/13/2013 9:01 PM
96	Small	8/13/2013 8:23 PM
97	slow	8/13/2013 8:14 PM
98	Quiet	8/13/2013 8:14 PM

## Bethalto Community Survey

99	Engaging	8/13/2013 8:02 PM
100	closeknit	8/13/2013 7:54 PM
101	Community.	8/13/2013 7:38 PM
102	Quiet	8/13/2013 7:08 PM
103	Welcoming	8/13/2013 6:38 PM
104	Home	8/13/2013 6:27 PM
105	High taxes	8/13/2013 6:03 PM
106	attractive	8/13/2013 6:02 PM
107	Opportunity	8/13/2013 5:51 PM
108	Clean	8/13/2013 5:08 PM
109	But	8/13/2013 4:48 PM
110	Underutilized	8/13/2013 4:35 PM
111	Safe	8/13/2013 4:22 PM
112	Community	8/13/2013 4:16 PM
113	Charming	8/13/2013 4:03 PM
114	close	8/13/2013 4:02 PM
115	Spiritual Driven	8/13/2013 3:28 PM
116	Convenient	8/13/2013 3:20 PM
117	bedroom community	8/13/2013 3:08 PM
118	A good place to raise a family	8/13/2013 2:27 PM
119	Neighborly	8/13/2013 2:06 PM
120	Quiet	8/13/2013 1:53 PM
121	safe	8/13/2013 1:47 PM
122	Growing	8/13/2013 1:46 PM
123	Great People and ideas, Sometimes not followed through	8/13/2013 1:46 PM
124	Central	8/13/2013 1:45 PM
125	Boring	8/13/2013 1:44 PM
126	Safe	8/13/2013 1:41 PM
127	Great School System	8/13/2013 1:36 PM
<b>#</b>	<b>3.</b>	<b>Date</b>
1	Cliquish	1/31/2014 4:03 PM
2	Community oriented	1/31/2014 3:51 PM
3	Home	1/31/2014 3:47 PM
4	old	1/31/2014 3:36 PM
5	Nothing to do	12/29/2013 9:57 AM
6	Friendly	12/26/2013 10:42 AM
7	snooty	12/18/2013 11:34 PM
8	Stealing cops	12/4/2013 5:03 PM
9	clean	11/5/2013 8:22 AM
10	Improving	10/22/2013 4:17 PM

## Bethalto Community Survey

11	segregated	10/20/2013 10:16 PM
12	safe	10/15/2013 11:20 AM
13	Improving	10/14/2013 1:26 PM
14	Available	10/13/2013 10:34 PM
15	friendly	10/13/2013 5:29 PM
16	comfortable	10/10/2013 9:44 PM
17	Quiet	10/8/2013 7:50 PM
18	Safe	10/6/2013 12:39 PM
19	visionary	10/3/2013 10:43 AM
20	safe	10/3/2013 10:25 AM
21	Boring	10/3/2013 9:54 AM
22	convenient	10/1/2013 2:44 PM
23	backwards	9/30/2013 1:51 PM
24	quaint	9/27/2013 8:47 PM
25	Noncorrupt	9/25/2013 12:55 PM
26	Quiet	9/24/2013 6:51 PM
27	Old	9/24/2013 4:55 PM
28	Pretty	9/24/2013 4:39 PM
29	football	9/24/2013 4:23 PM
30	routine	9/14/2013 8:13 PM
31	build for the future	9/14/2013 1:00 PM
32	Clean	9/13/2013 4:59 PM
33	safe	9/13/2013 3:17 PM
34	Passive	9/13/2013 3:16 PM
35	community	9/13/2013 3:13 PM
36	taxes	9/13/2013 2:52 PM
37	clean	9/13/2013 1:45 PM
38	home	9/13/2013 12:07 PM
39	under-developed	9/13/2013 12:05 PM
40	pride	9/13/2013 8:30 AM
41	Family	9/13/2013 7:26 AM
42	Strong schools	9/13/2013 7:11 AM
43	family	9/13/2013 6:59 AM
44	community	9/13/2013 3:27 AM
45	Very clickish..so to speak.	9/10/2013 6:08 PM
46	Safe	9/10/2013 5:48 PM
47	Great schools	9/8/2013 10:19 PM
48	clickish	9/8/2013 9:44 PM
49	close minded	8/22/2013 11:24 PM
50	Opportunities	8/22/2013 10:22 PM

## Bethalto Community Survey

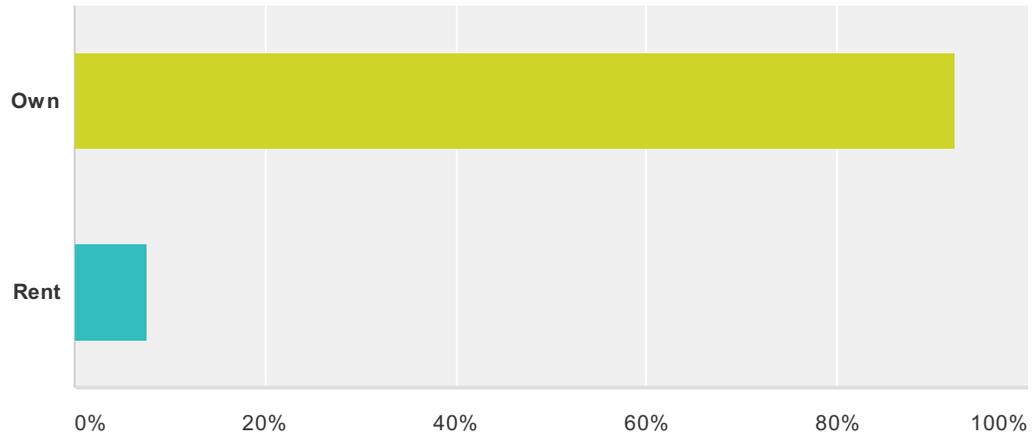
51	Families	8/22/2013 7:17 PM
52	Cozy	8/22/2013 6:43 PM
53	Family	8/22/2013 6:40 PM
54	growing	8/22/2013 5:02 PM
55	kids	8/22/2013 4:49 PM
56	slow paced	8/19/2013 8:30 PM
57	Freindly	8/17/2013 5:35 PM
58	Friendly	8/16/2013 4:09 PM
59	Quaint	8/16/2013 8:07 AM
60	growing	8/15/2013 6:41 PM
61	Poor water taste/quality	8/14/2013 10:03 PM
62	snobby	8/14/2013 8:32 PM
63	hometown	8/14/2013 6:35 PM
64	overtaxed	8/14/2013 3:50 PM
65	Great place to live	8/14/2013 3:47 PM
66	Neighborly	8/14/2013 2:03 PM
67	Flat	8/14/2013 12:06 PM
68	Neighborly	8/14/2013 11:10 AM
69	struggling	8/14/2013 11:03 AM
70	Quiet	8/14/2013 10:44 AM
71	Accessible	8/14/2013 10:20 AM
72	struggling	8/14/2013 10:06 AM
73	residential	8/14/2013 9:41 AM
74	stagnant	8/14/2013 9:25 AM
75	small	8/14/2013 9:22 AM
76	Charming	8/14/2013 7:47 AM
77	Family oriented	8/14/2013 7:36 AM
78	Needs revitalization	8/14/2013 6:44 AM
79	BEDROOM COMMUNITY	8/14/2013 1:56 AM
80	Quirky	8/13/2013 11:47 PM
81	growing	8/13/2013 10:54 PM
82	Growth potential	8/13/2013 10:28 PM
83	Future	8/13/2013 10:27 PM
84	Conservative	8/13/2013 9:25 PM
85	Clicky	8/13/2013 9:23 PM
86	Potential	8/13/2013 9:17 PM
87	Progress	8/13/2013 9:16 PM
88	stagnant economy	8/13/2013 9:01 PM
89	Safe	8/13/2013 8:23 PM
90	expensive	8/13/2013 8:14 PM

## Bethalto Community Survey

91	Home	8/13/2013 8:14 PM
92	growing	8/13/2013 7:54 PM
93	Friendly.	8/13/2013 7:38 PM
94	Friendly	8/13/2013 7:08 PM
95	Small	8/13/2013 6:38 PM
96	Eagles	8/13/2013 6:27 PM
97	High taxes	8/13/2013 6:03 PM
98	welcoming	8/13/2013 6:02 PM
99	Prosperity	8/13/2013 5:51 PM
100	Safe	8/13/2013 5:08 PM
101	Pricey	8/13/2013 4:48 PM
102	Unconcerned	8/13/2013 4:35 PM
103	Pretty	8/13/2013 4:22 PM
104	Slightly Declining	8/13/2013 4:16 PM
105	Home	8/13/2013 4:03 PM
106	leadership	8/13/2013 4:02 PM
107	Patriotic	8/13/2013 3:28 PM
108	Small	8/13/2013 3:20 PM
109	friendly	8/13/2013 3:08 PM
110	good schools	8/13/2013 2:27 PM
111	Homely	8/13/2013 2:06 PM
112	Safe	8/13/2013 1:53 PM
113	home	8/13/2013 1:47 PM
114	Homey	8/13/2013 1:46 PM
115	Means well, but IT IS MY HOME TOWN!	8/13/2013 1:46 PM
116	Storied	8/13/2013 1:45 PM
117	Friendly	8/13/2013 1:44 PM
118	Pleasant	8/13/2013 1:41 PM
119	Behind on development	8/13/2013 1:36 PM

### Q14 Do you own or rent your residence?

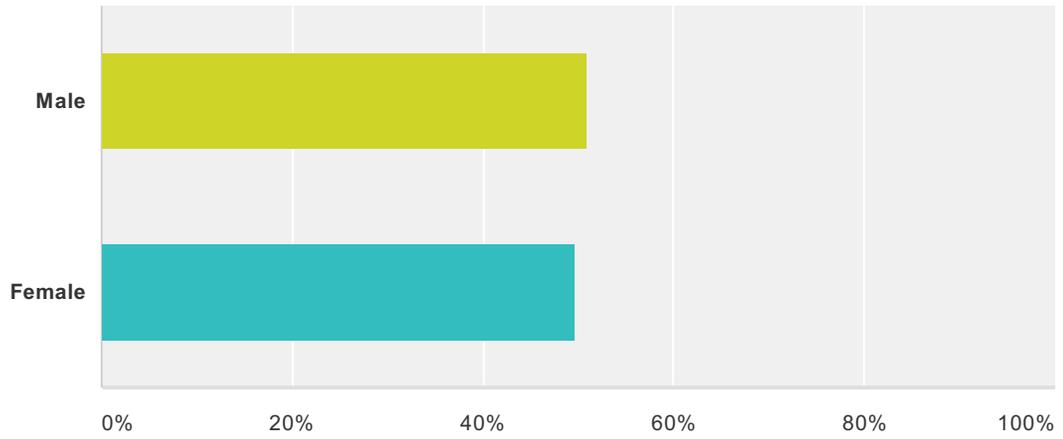
Answered: 184 Skipped: 6



Answer Choices	Responses
Own	92.39% 170
Rent	7.61% 14
<b>Total Respondents: 184</b>	

### Q15 Please enter your gender.

Answered: 187 Skipped: 3



Answer Choices	Responses
Male	50.80% 95
Female	49.73% 93
<b>Total Respondents: 187</b>	

## Bethalto Community Survey

## Q16 What is your age?

Answered: 177 Skipped: 13

#	Responses	Date
1	43	1/31/2014 4:03 PM
2	45	1/31/2014 3:55 PM
3	33	1/31/2014 3:51 PM
4	50+	1/31/2014 3:49 PM
5	64	1/31/2014 3:47 PM
6	53	1/31/2014 3:46 PM
7	Too old.	1/31/2014 3:39 PM
8	33	1/31/2014 3:36 PM
9	70	1/31/2014 3:27 PM
10	53	1/31/2014 3:24 PM
11	25	12/29/2013 9:57 AM
12	42	12/26/2013 10:42 AM
13	62	12/4/2013 5:03 PM
14	34	11/5/2013 8:22 AM
15	56	10/28/2013 5:45 PM
16	40	10/28/2013 12:53 PM
17	46	10/22/2013 4:17 PM
18	57	10/20/2013 10:16 PM
19	45	10/15/2013 11:20 AM
20	78	10/15/2013 10:35 AM
21	30	10/14/2013 1:26 PM
22	58	10/13/2013 10:34 PM
23	54	10/13/2013 5:29 PM
24	772	10/13/2013 3:12 PM
25	49	10/10/2013 9:44 PM
26	30	10/8/2013 7:50 PM
27	41	10/6/2013 12:39 PM
28	50	10/4/2013 2:15 PM
29	47	10/3/2013 12:22 PM
30	63	10/3/2013 10:43 AM
31	54	10/3/2013 10:25 AM
32	senior	10/3/2013 10:20 AM
33	26	10/3/2013 9:54 AM
34	51	10/1/2013 2:44 PM

## Bethalto Community Survey

35	48	9/30/2013 1:51 PM
36	55	9/28/2013 9:37 AM
37	44	9/27/2013 8:47 PM
38	63	9/25/2013 12:55 PM
39	49	9/25/2013 6:50 AM
40	56	9/24/2013 7:17 PM
41	53	9/24/2013 6:51 PM
42	44	9/24/2013 4:55 PM
43	29	9/24/2013 4:39 PM
44	55	9/24/2013 4:23 PM
45	57	9/14/2013 8:13 PM
46	48	9/14/2013 1:00 PM
47	63	9/13/2013 11:38 PM
48	24	9/13/2013 4:59 PM
49	45	9/13/2013 4:18 PM
50	31	9/13/2013 4:03 PM
51	52	9/13/2013 3:17 PM
52	28	9/13/2013 3:13 PM
53	30	9/13/2013 3:07 PM
54	64	9/13/2013 1:45 PM
55	37	9/13/2013 12:32 PM
56	60	9/13/2013 12:15 PM
57	61	9/13/2013 12:07 PM
58	37	9/13/2013 12:05 PM
59	30	9/13/2013 8:38 AM
60	46	9/13/2013 8:30 AM
61	34	9/13/2013 7:26 AM
62	52	9/13/2013 7:19 AM
63	32	9/13/2013 7:11 AM
64	35	9/13/2013 6:59 AM
65	50	9/13/2013 3:27 AM
66	43	9/12/2013 5:00 PM
67	53	9/10/2013 6:08 PM
68	28	9/10/2013 5:48 PM
69	45	9/9/2013 3:09 PM
70	69	9/9/2013 12:50 AM
71	44	9/8/2013 10:19 PM
72	60	9/8/2013 9:44 PM
73	33	9/2/2013 10:03 AM
74	30	8/23/2013 4:23 AM

## Bethalto Community Survey

75	33	8/22/2013 11:24 PM
76	60+	8/22/2013 10:22 PM
77	28	8/22/2013 9:29 PM
78	51	8/22/2013 8:18 PM
79	42	8/22/2013 7:17 PM
80	52	8/22/2013 6:43 PM
81	44	8/22/2013 6:40 PM
82	37	8/22/2013 5:56 PM
83	45	8/22/2013 5:02 PM
84	44	8/22/2013 4:49 PM
85	63	8/22/2013 8:39 AM
86	34	8/21/2013 2:31 PM
87	65	8/19/2013 8:30 PM
88	59	8/17/2013 5:35 PM
89	70	8/17/2013 4:30 PM
90	65	8/16/2013 4:09 PM
91	50	8/16/2013 8:07 AM
92	31	8/15/2013 6:41 PM
93	69	8/15/2013 10:41 AM
94	44	8/14/2013 10:03 PM
95	53	8/14/2013 8:32 PM
96	66	8/14/2013 6:35 PM
97	58	8/14/2013 3:50 PM
98	62	8/14/2013 3:47 PM
99	38	8/14/2013 2:03 PM
100	60	8/14/2013 12:06 PM
101	58	8/14/2013 11:10 AM
102	50+	8/14/2013 11:03 AM
103	69	8/14/2013 10:44 AM
104	55	8/14/2013 10:20 AM
105	55	8/14/2013 10:06 AM
106	57	8/14/2013 10:03 AM
107	mid 50	8/14/2013 9:41 AM
108	44	8/14/2013 9:25 AM
109	52	8/14/2013 9:22 AM
110	59	8/14/2013 9:06 AM
111	54	8/14/2013 7:47 AM
112	51	8/14/2013 7:36 AM
113	31	8/14/2013 6:44 AM
114	61	8/14/2013 1:56 AM

## Bethalto Community Survey

115	44	8/13/2013 11:54 PM
116	24	8/13/2013 11:47 PM
117	46	8/13/2013 10:54 PM
118	35	8/13/2013 10:28 PM
119	47	8/13/2013 10:27 PM
120	35	8/13/2013 9:37 PM
121	38	8/13/2013 9:25 PM
122	47	8/13/2013 9:23 PM
123	33	8/13/2013 9:17 PM
124	42	8/13/2013 9:16 PM
125	66	8/13/2013 9:01 PM
126	21	8/13/2013 8:23 PM
127	39	8/13/2013 8:14 PM
128	57	8/13/2013 8:14 PM
129	52	8/13/2013 8:08 PM
130	46	8/13/2013 8:02 PM
131	48	8/13/2013 7:54 PM
132	55	8/13/2013 7:51 PM
133	45	8/13/2013 7:45 PM
134	45	8/13/2013 7:38 PM
135	50	8/13/2013 7:11 PM
136	39	8/13/2013 7:08 PM
137	24	8/13/2013 6:38 PM
138	24	8/13/2013 6:27 PM
139	53	8/13/2013 6:03 PM
140	29	8/13/2013 6:02 PM
141	24	8/13/2013 5:51 PM
142	732	8/13/2013 5:32 PM
143	86 yrs	8/13/2013 5:21 PM
144	29	8/13/2013 5:10 PM
145	50	8/13/2013 5:08 PM
146	61	8/13/2013 5:05 PM
147	39	8/13/2013 5:01 PM
148	43	8/13/2013 4:48 PM
149	63	8/13/2013 4:42 PM
150	45	8/13/2013 4:38 PM
151	41	8/13/2013 4:35 PM
152	59	8/13/2013 4:29 PM
153	30	8/13/2013 4:23 PM
154	53	8/13/2013 4:22 PM

## Bethalto Community Survey

155	53	8/13/2013 4:16 PM
156	40	8/13/2013 4:03 PM
157	44	8/13/2013 4:02 PM
158	22	8/13/2013 3:51 PM
159	29	8/13/2013 3:41 PM
160	53	8/13/2013 3:31 PM
161	50	8/13/2013 3:28 PM
162	50	8/13/2013 3:20 PM
163	50+	8/13/2013 3:08 PM
164	40	8/13/2013 2:44 PM
165	28	8/13/2013 2:38 PM
166	36	8/13/2013 2:27 PM
167	25	8/13/2013 2:06 PM
168	36	8/13/2013 1:53 PM
169	58	8/13/2013 1:47 PM
170	52	8/13/2013 1:47 PM
171	37	8/13/2013 1:46 PM
172	46	8/13/2013 1:46 PM
173	47	8/13/2013 1:45 PM
174	40	8/13/2013 1:44 PM
175	62	8/13/2013 1:41 PM
176	52	8/13/2013 1:39 PM
177	38	8/13/2013 1:36 PM

## Q17 Please indicate the number of people living in your household including yourself.

Answered: 176 Skipped: 14

#	Responses	Date
1	4	1/31/2014 4:03 PM
2	2	1/31/2014 3:55 PM
3	4	1/31/2014 3:51 PM
4	3	1/31/2014 3:49 PM
5	2	1/31/2014 3:47 PM
6	2	1/31/2014 3:46 PM
7	4	1/31/2014 3:39 PM
8	4	1/31/2014 3:36 PM
9	2	1/31/2014 3:27 PM
10	2	1/31/2014 3:24 PM
11	2	12/29/2013 9:57 AM
12	3	12/26/2013 10:42 AM
13	2	12/4/2013 5:03 PM
14	4	11/5/2013 8:22 AM
15	2	11/4/2013 12:47 PM
16	1	10/28/2013 5:45 PM
17	4	10/28/2013 12:53 PM
18	5	10/22/2013 4:17 PM
19	2	10/20/2013 10:16 PM
20	5	10/15/2013 11:20 AM
21	2	10/15/2013 10:35 AM
22	2	10/14/2013 1:26 PM
23	4	10/13/2013 10:34 PM
24	3	10/13/2013 5:29 PM
25	2	10/13/2013 3:12 PM
26	4	10/10/2013 9:44 PM
27	3	10/8/2013 7:50 PM
28	5	10/6/2013 12:39 PM
29	4	10/4/2013 2:15 PM
30	4	10/3/2013 12:22 PM
31	2	10/3/2013 10:43 AM
32	2	10/3/2013 10:25 AM
33	2	10/3/2013 10:20 AM
34	3	10/3/2013 9:54 AM

## Bethalto Community Survey

35	2	10/1/2013 2:44 PM
36	2	9/30/2013 1:51 PM
37	2	9/28/2013 9:37 AM
38	4	9/27/2013 8:47 PM
39	2	9/25/2013 12:55 PM
40	4	9/25/2013 6:50 AM
41	2	9/24/2013 7:17 PM
42	2	9/24/2013 6:51 PM
43	3	9/24/2013 4:55 PM
44	5	9/24/2013 4:39 PM
45	1	9/24/2013 4:23 PM
46	2	9/14/2013 8:13 PM
47	4	9/14/2013 1:00 PM
48	2	9/13/2013 11:38 PM
49	3	9/13/2013 4:59 PM
50	4	9/13/2013 4:18 PM
51	2...soon to be 3 :)	9/13/2013 4:03 PM
52	3	9/13/2013 3:17 PM
53	2	9/13/2013 3:13 PM
54	3	9/13/2013 3:07 PM
55	64, 70	9/13/2013 1:45 PM
56	4	9/13/2013 12:32 PM
57	2	9/13/2013 12:15 PM
58	2	9/13/2013 12:07 PM
59	3	9/13/2013 12:05 PM
60	2	9/13/2013 8:38 AM
61	2	9/13/2013 8:30 AM
62	4	9/13/2013 7:26 AM
63	3	9/13/2013 7:19 AM
64	4	9/13/2013 7:11 AM
65	5	9/13/2013 6:59 AM
66	2	9/13/2013 3:27 AM
67	4	9/12/2013 5:00 PM
68	3	9/10/2013 6:08 PM
69	5	9/10/2013 5:48 PM
70	6	9/9/2013 3:09 PM
71	2	9/9/2013 12:50 AM
72	2	9/8/2013 10:19 PM
73	4	9/8/2013 9:44 PM
74	4	9/2/2013 10:03 AM

## Bethalto Community Survey

75	1	8/23/2013 4:23 AM
76	4	8/22/2013 11:24 PM
77	3	8/22/2013 10:22 PM
78	3	8/22/2013 9:29 PM
79	3	8/22/2013 8:18 PM
80	4	8/22/2013 7:17 PM
81	4	8/22/2013 6:43 PM
82	4	8/22/2013 6:40 PM
83	2	8/22/2013 5:56 PM
84	4	8/22/2013 5:02 PM
85	3	8/22/2013 4:49 PM
86	4	8/22/2013 8:39 AM
87	3	8/21/2013 2:31 PM
88	2	8/19/2013 8:30 PM
89	2	8/17/2013 4:30 PM
90	2	8/16/2013 4:09 PM
91	2	8/16/2013 8:07 AM
92	1	8/15/2013 6:41 PM
93	one	8/15/2013 10:41 AM
94	1	8/14/2013 10:03 PM
95	2	8/14/2013 8:32 PM
96	2	8/14/2013 6:35 PM
97	1	8/14/2013 3:50 PM
98	2	8/14/2013 3:47 PM
99	1	8/14/2013 2:03 PM
100	2	8/14/2013 12:06 PM
101	4	8/14/2013 11:10 AM
102	3	8/14/2013 11:03 AM
103	2	8/14/2013 10:44 AM
104	4	8/14/2013 10:20 AM
105	2	8/14/2013 10:06 AM
106	2	8/14/2013 10:03 AM
107	2	8/14/2013 9:41 AM
108	4	8/14/2013 9:25 AM
109	6	8/14/2013 9:22 AM
110	2	8/14/2013 9:06 AM
111	2	8/14/2013 7:47 AM
112	2	8/14/2013 7:36 AM
113	4	8/14/2013 6:44 AM
114	1	8/14/2013 1:56 AM

## Bethalto Community Survey

115	4	8/13/2013 11:54 PM
116	5	8/13/2013 11:47 PM
117	4	8/13/2013 10:54 PM
118	4	8/13/2013 10:28 PM
119	4	8/13/2013 10:27 PM
120	5	8/13/2013 9:25 PM
121	4	8/13/2013 9:23 PM
122	4	8/13/2013 9:17 PM
123	4	8/13/2013 9:16 PM
124	2	8/13/2013 9:01 PM
125	3	8/13/2013 8:23 PM
126	2	8/13/2013 8:14 PM
127	3	8/13/2013 8:14 PM
128	1	8/13/2013 8:08 PM
129	6	8/13/2013 8:02 PM
130	4	8/13/2013 7:54 PM
131	2	8/13/2013 7:51 PM
132	3	8/13/2013 7:45 PM
133	Five	8/13/2013 7:38 PM
134	3	8/13/2013 7:16 PM
135	2	8/13/2013 7:11 PM
136	4	8/13/2013 7:08 PM
137	3	8/13/2013 6:38 PM
138	4	8/13/2013 6:27 PM
139	2	8/13/2013 6:03 PM
140	2	8/13/2013 6:02 PM
141	4	8/13/2013 5:51 PM
142	2	8/13/2013 5:32 PM
143	One	8/13/2013 5:21 PM
144	1	8/13/2013 5:10 PM
145	4	8/13/2013 5:08 PM
146	2	8/13/2013 5:05 PM
147	4	8/13/2013 5:01 PM
148	5	8/13/2013 4:48 PM
149	2	8/13/2013 4:42 PM
150	4	8/13/2013 4:38 PM
151	4	8/13/2013 4:35 PM
152	2	8/13/2013 4:29 PM
153	1	8/13/2013 4:23 PM
154	4	8/13/2013 4:22 PM

## Bethalto Community Survey

155	3	8/13/2013 4:16 PM
156	4	8/13/2013 4:03 PM
157	2	8/13/2013 4:02 PM
158	2	8/13/2013 3:51 PM
159	3	8/13/2013 3:41 PM
160	3	8/13/2013 3:31 PM
161	2	8/13/2013 3:28 PM
162	4	8/13/2013 3:20 PM
163	2	8/13/2013 3:08 PM
164	4	8/13/2013 2:44 PM
165	4	8/13/2013 2:38 PM
166	3	8/13/2013 2:27 PM
167	4	8/13/2013 1:53 PM
168	5	8/13/2013 1:47 PM
169	2	8/13/2013 1:47 PM
170	2	8/13/2013 1:46 PM
171	3	8/13/2013 1:46 PM
172	2	8/13/2013 1:45 PM
173	5	8/13/2013 1:44 PM
174	3	8/13/2013 1:41 PM
175	2	8/13/2013 1:39 PM
176	6	8/13/2013 1:36 PM

**Q18 How many children under the age of 18 live in your house?**

Answered: 182 Skipped: 8

Answer Choices	Responses	
0	58.24%	106
1	17.03%	31
2	18.13%	33
3	4.40%	8
4	2.20%	4
5	0%	0
6	0%	0
7	0%	0
8	0%	0
9	0.55%	1
<b>Total Respondents: 182</b>		

## Bethalto Community Survey

## Q19 How long have you been a resident of Bethalto?

Answered: 176 Skipped: 14

#	Responses	Date
1	36 years	1/31/2014 4:03 PM
2	30 years	1/31/2014 3:55 PM
3	8yrs	1/31/2014 3:51 PM
4	31 years	1/31/2014 3:49 PM
5	64 years	1/31/2014 3:47 PM
6	33 years	1/31/2014 3:46 PM
7	17 years	1/31/2014 3:39 PM
8	33 yeeears	1/31/2014 3:36 PM
9	Reside in East Alton; work at airport.	1/31/2014 3:27 PM
10	35 years	1/31/2014 3:24 PM
11	1 year	12/29/2013 9:57 AM
12	40 years	12/26/2013 10:42 AM
13	32 years	12/4/2013 5:03 PM
14	34 years	11/5/2013 8:22 AM
15	38 years	11/4/2013 12:47 PM
16	56 years	10/28/2013 5:45 PM
17	9 years	10/28/2013 12:53 PM
18	7 years	10/22/2013 4:17 PM
19	20 years	10/15/2013 11:20 AM
20	54 years	10/15/2013 10:35 AM
21	30 years	10/14/2013 1:26 PM
22	40 yrs.	10/13/2013 10:34 PM
23	32 years	10/13/2013 5:29 PM
24	7 years	10/10/2013 9:44 PM
25	2 years	10/8/2013 7:50 PM
26	11 years	10/6/2013 12:39 PM
27	19 years	10/4/2013 2:15 PM
28	22 years	10/3/2013 12:22 PM
29	over 40 years	10/3/2013 10:43 AM
30	10 years	10/3/2013 10:25 AM
31	31 yrs	10/3/2013 10:20 AM
32	19 years	10/3/2013 9:54 AM
33	not a resident	10/1/2013 2:44 PM
34	48 years	9/30/2013 1:51 PM

## Bethalto Community Survey

35	for ever	9/28/2013 9:37 AM
36	18 years	9/27/2013 8:47 PM
37	17 years	9/25/2013 12:55 PM
38	30	9/25/2013 6:50 AM
39	31 years	9/24/2013 7:17 PM
40	53 years	9/24/2013 6:51 PM
41	8 yrs	9/24/2013 4:55 PM
42	29 years	9/24/2013 4:39 PM
43	28 years	9/24/2013 4:23 PM
44	I live in Meadowbrook	9/14/2013 8:13 PM
45	22 years	9/14/2013 1:00 PM
46	lifetime	9/13/2013 11:38 PM
47	18	9/13/2013 5:01 PM
48	24 years	9/13/2013 4:59 PM
49	45	9/13/2013 4:18 PM
50	3 years	9/13/2013 4:03 PM
51	20 years	9/13/2013 3:17 PM
52	4.5 years	9/13/2013 3:13 PM
53	8 years	9/13/2013 3:07 PM
54	64 years	9/13/2013 1:45 PM
55	7 years	9/13/2013 12:32 PM
56	37	9/13/2013 12:15 PM
57	32 years	9/13/2013 12:07 PM
58	5 years	9/13/2013 12:05 PM
59	26 years	9/13/2013 8:38 AM
60	all life	9/13/2013 8:30 AM
61	8 years	9/13/2013 7:26 AM
62	28 years	9/13/2013 7:19 AM
63	3 years	9/13/2013 7:11 AM
64	all my life	9/13/2013 6:59 AM
65	9 years	9/13/2013 3:27 AM
66	11 years	9/12/2013 5:00 PM
67	All my life but 2 years.	9/10/2013 6:08 PM
68	25 years	9/10/2013 5:48 PM
69	all my life	9/9/2013 3:09 PM
70	29 yrs	9/9/2013 12:50 AM
71	44 years	9/8/2013 10:19 PM
72	38 years	9/8/2013 9:44 PM
73	25+ years	9/2/2013 10:03 AM
74	28 years	8/23/2013 4:23 AM

## Bethalto Community Survey

75	8 years	8/22/2013 11:24 PM
76	60+	8/22/2013 10:22 PM
77	28 years	8/22/2013 9:29 PM
78	25 years	8/22/2013 8:18 PM
79	35 years	8/22/2013 7:17 PM
80	47 yrs	8/22/2013 6:43 PM
81	44 years	8/22/2013 6:40 PM
82	all my life	8/22/2013 5:56 PM
83	23 years	8/22/2013 5:02 PM
84	44 years	8/22/2013 4:49 PM
85	20	8/22/2013 8:39 AM
86	8 yrs	8/21/2013 2:31 PM
87	60	8/19/2013 8:30 PM
88	40 years	8/17/2013 4:30 PM
89	24 years	8/16/2013 4:09 PM
90	21 years	8/16/2013 8:07 AM
91	2.5 years	8/15/2013 6:41 PM
92	69 years	8/15/2013 10:41 AM
93	12 years	8/14/2013 10:03 PM
94	52 yrs.	8/14/2013 8:32 PM
95	35	8/14/2013 6:35 PM
96	54 years	8/14/2013 3:50 PM
97	11yrs	8/14/2013 3:47 PM
98	5	8/14/2013 2:03 PM
99	8 years	8/14/2013 12:06 PM
100	50 years	8/14/2013 11:10 AM
101	50 years	8/14/2013 11:03 AM
102	43 years	8/14/2013 10:44 AM
103	30 years	8/14/2013 10:20 AM
104	40 years	8/14/2013 10:06 AM
105	57 years	8/14/2013 10:03 AM
106	16 yrs	8/14/2013 9:41 AM
107	44 years	8/14/2013 9:25 AM
108	26 years	8/14/2013 9:22 AM
109	25 years	8/14/2013 9:06 AM
110	54 years	8/14/2013 7:47 AM
111	22 years	8/14/2013 7:36 AM
112	31 years	8/14/2013 6:44 AM
113	55 YRS	8/14/2013 1:56 AM
114	44 years	8/13/2013 11:54 PM

## Bethalto Community Survey

115	15 years	8/13/2013 11:47 PM
116	17 years	8/13/2013 10:54 PM
117	3yrs	8/13/2013 10:28 PM
118	35 years	8/13/2013 10:27 PM
119	6 years	8/13/2013 9:37 PM
120	38 years	8/13/2013 9:25 PM
121	20 years	8/13/2013 9:23 PM
122	5 years	8/13/2013 9:17 PM
123	35 years	8/13/2013 9:16 PM
124	3+ years and 30 years	8/13/2013 9:01 PM
125	21 years	8/13/2013 8:23 PM
126	31	8/13/2013 8:14 PM
127	57	8/13/2013 8:14 PM
128	4	8/13/2013 8:08 PM
129	Grew up here	8/13/2013 8:02 PM
130	48	8/13/2013 7:54 PM
131	55 years	8/13/2013 7:51 PM
132	25 years	8/13/2013 7:45 PM
133	34 years	8/13/2013 7:38 PM
134	24 years	8/13/2013 7:16 PM
135	45 years	8/13/2013 7:11 PM
136	15 yrs	8/13/2013 7:08 PM
137	24 years	8/13/2013 6:38 PM
138	20 Years	8/13/2013 6:27 PM
139	40 years	8/13/2013 6:03 PM
140	1 yr	8/13/2013 6:02 PM
141	10 years	8/13/2013 5:51 PM
142	40 yrs	8/13/2013 5:32 PM
143	5 years	8/13/2013 5:10 PM
144	43 years	8/13/2013 5:08 PM
145	36 years	8/13/2013 5:05 PM
146	39 yrs	8/13/2013 5:01 PM
147	18 years	8/13/2013 4:48 PM
148	All my life, my home has been in my family over 100 years.	8/13/2013 4:42 PM
149	42 years	8/13/2013 4:38 PM
150	37 yrs	8/13/2013 4:35 PM
151	40 years	8/13/2013 4:29 PM
152	30 years	8/13/2013 4:23 PM
153	30 years	8/13/2013 4:22 PM
154	21 Years	8/13/2013 4:16 PM

## Bethalto Community Survey

155	10 yrs	8/13/2013 4:03 PM
156	life	8/13/2013 4:02 PM
157	22years	8/13/2013 3:51 PM
158	20 years	8/13/2013 3:41 PM
159	40 yrs	8/13/2013 3:31 PM
160	40 years	8/13/2013 3:28 PM
161	29 years	8/13/2013 3:20 PM
162	forever	8/13/2013 3:08 PM
163	35 yrs.	8/13/2013 2:44 PM
164	4	8/13/2013 2:38 PM
165	15 years	8/13/2013 2:27 PM
166	25	8/13/2013 2:06 PM
167	11+	8/13/2013 1:53 PM
168	58	8/13/2013 1:47 PM
169	30 years	8/13/2013 1:47 PM
170	Off and on for 25 years.	8/13/2013 1:46 PM
171	46 yrs	8/13/2013 1:46 PM
172	1 year.	8/13/2013 1:45 PM
173	20+	8/13/2013 1:44 PM
174	21 years	8/13/2013 1:41 PM
175	10	8/13/2013 1:39 PM
176	38	8/13/2013 1:36 PM

# Bethalto Community Survey

## Q20 Please add any additional comments or suggestions for community improvement.

Answered: 53 Skipped: 137

#	Responses	Date
1	It would be nice for village staff to be a little friendlier.	1/31/2014 3:55 PM
2	Glad to have Mayor Winslow in office	1/31/2014 3:51 PM
3	Village officials need to be more readily available to talk with the public.	1/31/2014 3:49 PM
4	Equal opportunity for all residents. Get more efficiency out of the village employees.	1/31/2014 3:47 PM
5	I have high hopes, with the new Mayor, for this town to see improvement in the next year.	1/31/2014 3:46 PM
6	Thank you for asking for input.	1/31/2014 3:39 PM
7	The nice areas are great but the older areas are drawing undesirable people and most are becoming rental property. If we don't do something soon are crime rate won't be so good.	1/31/2014 3:36 PM
8	Rental properties need to be brought under control before we turn into East Alton	12/26/2013 10:42 AM
9	I would like to see a plan for a city wide bike trail. There is a lot of trails going through several town around us, but we have none.	11/5/2013 8:22 AM
10	I think I've added them throughout this survey. =)	10/22/2013 4:17 PM
11	Eliminate truck parking on Rt. 140 next to 255. That area needs a business. The truck are an eyesore. Would like a bike route possibly to connect with Edwardsville's.	10/4/2013 2:15 PM
12	I appreciate that you are interested in my view. I want an aquatic center! I am a kid at heart. Another project could be a Children's museum. Edwardsville has a small one but we could do it up big!	10/3/2013 10:43 AM
13	Need a CVS near Wal-greens need a hotel or motel near 255	10/3/2013 10:25 AM
14	Provide the same quality of police protection to all residents, not just Quik Trip.	9/30/2013 1:51 PM
15	Mayor Winslow, you are awesome!	9/24/2013 6:51 PM
16	Would love to see the community go more green.	9/24/2013 4:39 PM
17	do not allow the groups to ask for money at stop signs, this is not safe and hate to be looked at if I do not have change to give like I am an awful person	9/24/2013 4:23 PM
18	Sometimes you need to let go of the past to move on with your future.	9/14/2013 1:00 PM
19	I think this survey's a great idea, and I wish I was more knowledgeable/helpful -- hope you get some USEFUL feedback! At least you tried!	9/13/2013 4:03 PM
20	Hire a professionally trained city manager to lead the village forward, and implement the vision of its elected officials.	9/13/2013 3:16 PM
21	I think the village of Bethalto does a great job of improvements for its size. This community offers a lot that other towns and villages do not have. We re basically very lucky.	9/13/2013 1:45 PM
22	There are so many opportunities for Bethalto to capitalize with the expanded interstate, that needs to be a main focus local government, business and the community to continue to thrive in a troubling economy.	9/13/2013 7:11 AM
23	Get aggressive in lowering taxes. Then promote our village as balanced and tax friendly to potential residents and businesses.	9/13/2013 3:27 AM
24	community projects new water park YMCA	9/9/2013 3:09 PM
25	Condemned houses have to go!!!	8/22/2013 11:24 PM

## Bethalto Community Survey

26	Best wishes to municipal leadership in pursuing this project.	8/22/2013 10:22 PM
27	Better communication of community events and activities to all ages.	8/19/2013 8:30 PM
28	Overall appearance of Bethalto, both residential and business properties needs improvement.	8/16/2013 8:07 AM
29	I'm pretty much an outsider. I just live here. I love my neighbors and house. We have a lot of children and pets on my block, and the neighbors are very nice people. For some reason, Bethalto people, not my neighbors:) , have a reputation for thinking they are better than other people in the area. I never understood this since we don't have curbs in some places and the roads are rock/oil. There are few businesses, the schools are just OK (very political from what I've heard), many of the homes are just OK. Kids throw fast food garbage out of car windows way TOO MUCH. why do they think this is OK? Rosewood Heights is beautiful, Edwardsville is nice, Alton has a good school system and a lot of businesses... Bathalto might be better than Cottage Hills and Moro or some places in Wood River/East Alton...but it's just an average small town. Sorry. Not great. Good. Low crime. Low taxes.	8/14/2013 10:03 PM
30	Already did	8/14/2013 3:47 PM
31	I do not really understand how new businesses brought into the airport would really be a help to Bethalto.	8/14/2013 11:10 AM
32	The Village Hall needs to be kept up better. Kids are allowed to run around and make a mess in the lobby even though they are just feet from the Police Dept. They trash the place with litter from the vending machines and pour soda on the floor. That does not make a good impression on residents entering the Village Hall. Also, the marquee has had broken glass for months and is not kept up to date. Why are some residents going to keep their property up when the Village Hall is not kept up? Ordinances need to be enforced. People let things go because they are allowed to.	8/14/2013 11:03 AM
33	Unfortunately, the Village has not been ran correctly for the last 20 years or so. We have not been updating when necessary, we have been putting too much \$\$\$ into parks and not the infrastructure of the Village. I think parks are nice, but if you don't correct other issues, people will not be living here even if you have nice parks. We have been able to keep taxes for the Village at a minimal which is GREAT. But why do we pay Wood River Township taxes when they do not supply any services to us. (maybe that is why they are always in the black) We pay for the Airport, which does not benefit our Village. Years ago when we had a chance to bring in a large business, the airport axed that. Unfortunately we have to have some type of business that can carry us, or we will be constantly raising everything else to live here and then people can't afford to live here. (property taxes, water, sewer, to name a few)	8/14/2013 10:06 AM
34	bike trails and more concrete streets	8/14/2013 9:41 AM
35	Attract new businesses	8/14/2013 7:47 AM
36	None at this time.	8/14/2013 7:36 AM
37	I feel the overall appearance of the city, streets, and businesses are poor.	8/13/2013 11:54 PM
38	Please make bringing business to Bethalto a #1 priority.	8/13/2013 11:47 PM
39	Grow	8/13/2013 10:28 PM
40	Expand business and create jobs and the fire department needs another station	8/13/2013 9:37 PM
41	Steve Bryant was an amazing Mayor for us!!!!!! :)	8/13/2013 9:23 PM
42	We need a full time fully paid fire department	8/13/2013 9:16 PM
43	Keep up the good work!	8/13/2013 9:01 PM
44	Thanks for caring and for creating this survey!	8/13/2013 6:27 PM
45	Moro, Meadowbrook, and Cottage Hills desperately need to be incorporated into Bethalto. These people are part of our community. Let's share that identity and responsibility.	8/13/2013 5:51 PM
46	In order for Bethalto to grow and prosper, we need to attract new businesses. We also need to focus on education for our children..	8/13/2013 5:01 PM
47	None	8/13/2013 4:48 PM
48	Outside bars are not supposed to be within a certain distance of private residences.	8/13/2013 4:42 PM

## Bethalto Community Survey

49	It would be good to see bike and walking/running trails throughout town. The Bethalto spirit could give care for your community awards to residents who take exceptional care of their property.	8/13/2013 4:03 PM
50	Please help clean up the housing around park side. It is a great place to live but looks junky.	8/13/2013 4:02 PM
51	The drainage system really needs updating! We get water in our basement only from storm drainage backup.	8/13/2013 3:20 PM
52	we need to widen 140, rezone Bethalto Blvd to commercial along Rt. 140 and annex the 140 area of Cottage Hills while also cleaning it up.	8/13/2013 3:08 PM
53	Thanks for giving me a chance to give my opinions. Great step, as long as people are serious about making comments and follow up is done	8/13/2013 1:46 PM

# Appendix D



## **Appendix D: Stormwater Study**

### **Impact of the 2008 Flooding**

After the IKE disaster of 2008, it became clear that the Village has significant issues with its stormwater management. These issues range from water infiltration overloading the sanitary system to general flooding. Specifically, in the older portion of town near Sheraton, Grace and Park Street, major flooding occurred as stormwater overflow infiltrated the sanitary system and caused massive street and home flooding in this area. Many residents were displaced and unable to return to their homes for weeks. This area qualifies as a low to moderate income area as the Village had previously surveyed this area in order to seek HUD assistance to address this issue previously. Unfortunately, grant monies were not awarded to remedy this dilemma. Newer developments such as those along Fairway Street and Heatherlind also flooded as a result of stormwater overflow. Numerous businesses flooded as well including a law firm that employs more than 20 employees. This office was closed for a week due to a sewer back up. All lift stations throughout the City exceeded their ability to handle the amount of water causing a wide range of flooding issues throughout the Village. In dealing with this issue, the Village spent thousands of dollars on cleanup and temporary solutions to mitigate the potential of this occurring again. Bethalto and its residents experienced damage to their homes and their quality of life due to the IKE disaster.

### **Stormwater Profile**

The Village has two major forms of stormwater conveyance – open ditch and storm sewer. Streets with curb and gutter generally drain to inlets, which are connected to storm sewer systems that discharge to ditches or water bodies. The newer subdivisions have stormwater collection, detention and discharge facilities that by code, release no more stormwater into downstream tributaries than the flow rate present before development.

The main storm sewer system in the Village begins at the IL Rte. 140 and S. Prairie Street intersection and routes the flow easterly crossing Sheridan and Shellview Streets to a discharge point in the ditch behind Fairway Street. A smaller storm sewer system was constructed with the West Corbin Street improvement. The main ditch through the Village begins on the airport property and runs north crossing IL Rte. 140, Bethalto Expressway, West Corbin St., and Virginia Street. These conduits and ditches drain the majority of the residential and business districts of the Village.

### **Mitigation Plan**

The stormwater mitigation plan for the Village is focused on those problem areas that have been identified based on the impact of the 2008 flooding. The following maps shows the areas where problems have been found, including stormwater backups into basements, ditch overflows into residential properties, culvert backups, flows across roadways, and erosion.

Map AD1-1: Future Drainage Projects



Map AD 1-1 shows some of the areas where future drainage projects are proposed. Much of the needed improvements are adjacent to the main ditch running through the Village. Additionally, future improvements are proposed to alleviate some of the issues in the subdivision adjacent to Virginia Street, north of St. Mary Street.

Map AD 1-2: Future Drainage Projects



Map AD 1-2 shows the continuation of the proposed drainage project area adjacent to the existing drainage ditch running through the Village. These conduits and ditches in the area drain the majority of the residential and business districts of the Village, and as such future improvements are proposed to properly manage stormwater.

Map AD 1-3: Future Drainage Projects



Some additional residential drainage projects are proposed for the area in Map AD 1-3. With no method of proper stormwater management, these homes had seen some overflow from the open ditches in the area.

Map AD 1-4: Future Drainage Projects



Map AD 1-4 shows the area proposed for future drainage projects near the eastern boundary of the Village, where existing drainage paths have caused issues with stormwater management.

For each area of concern, a flow study will be performed identifying the area tributary to the point of interest, slope of the watershed, characteristic of the surface improvements, soil type and volume of runoff. With this information, projects can be designed that will address the issues.

Map AD 1-5: Proposed Storm Sewer Area



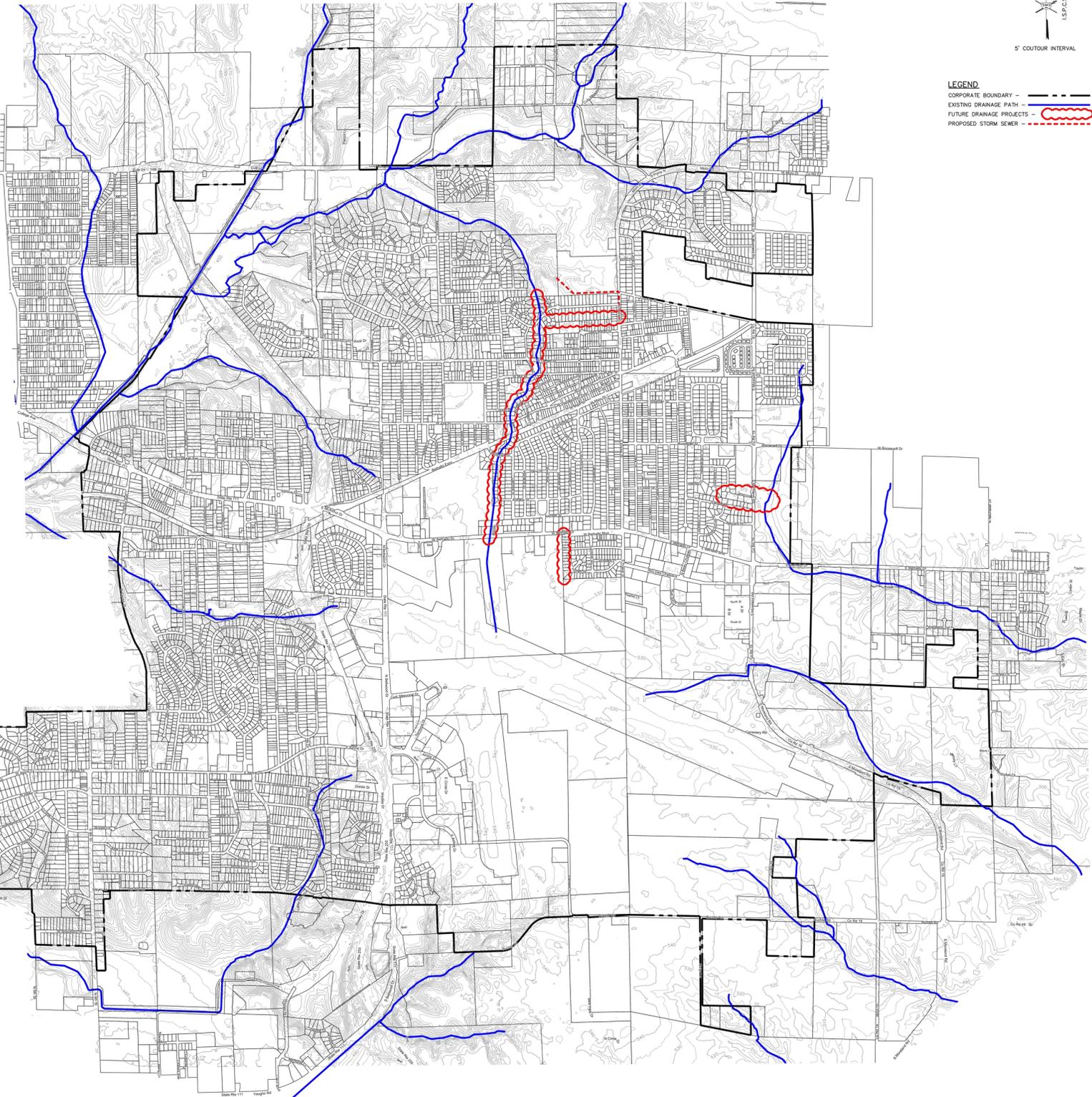
Map AD 1-5 shows the proposed storm sewer project in the Village. Proper storm sewers throughout this area would benefit the adjacent homes, from the Prairie Street area to those along Virginia Street.

800 0 800 1600  
SCALE IN FEET



**LEGEND**

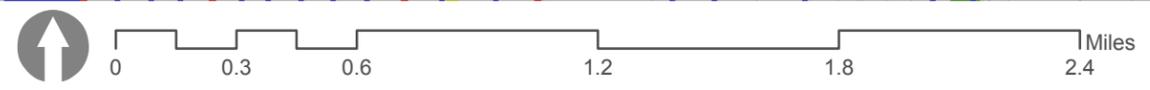
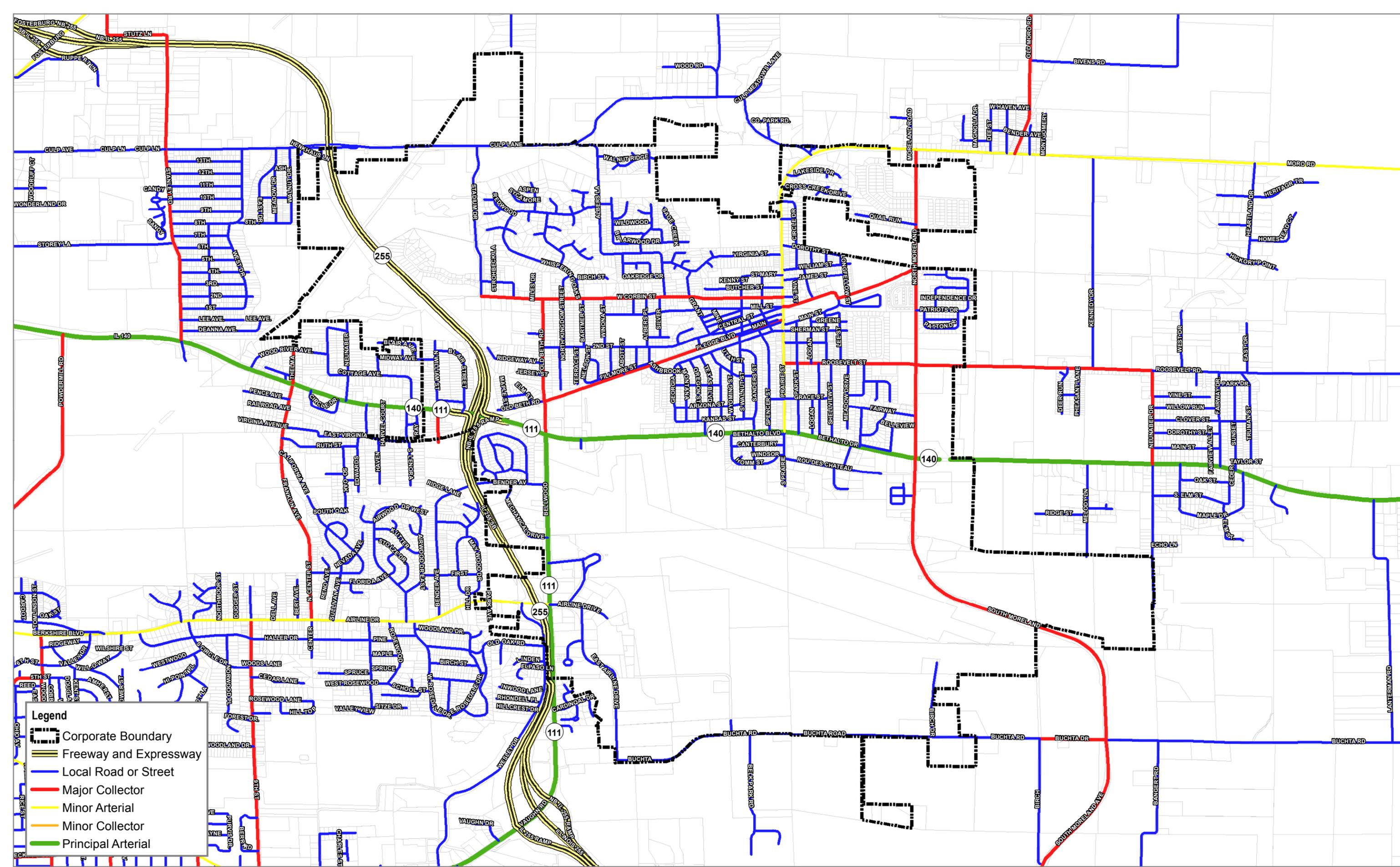
- CORPORATE BOUNDARY - - - - -
- EXISTING DRAINAGE PATH - - - - -
- FUTURE DRAINAGE PROJECTS - - - - -
- PROPOSED STORM SEWER - - - - -



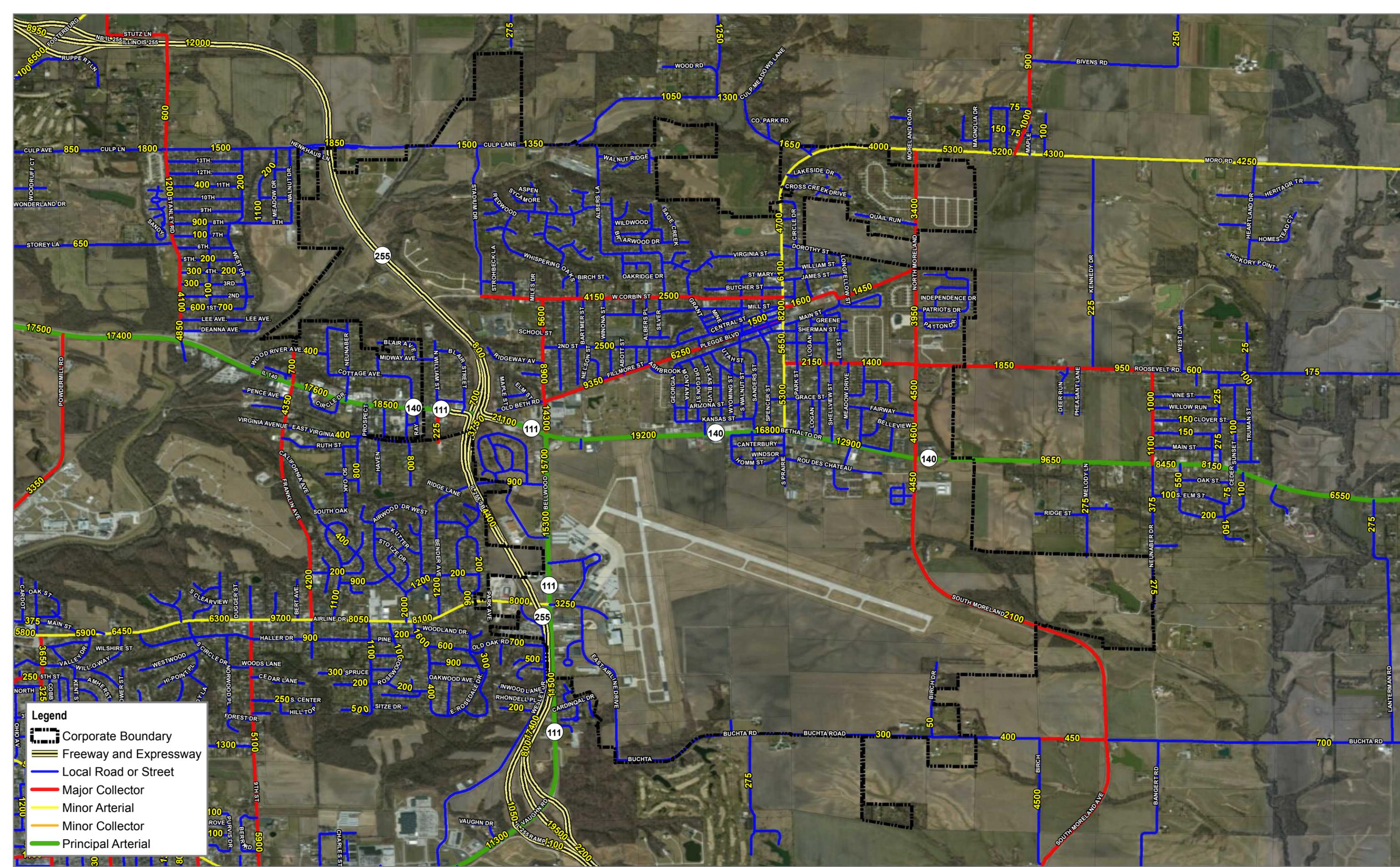
VILLAGE OF BETHALTO  
2014 COMPREHENSIVE PLAN  
STORMWATER DRAINAGE MAP

# Appendix E

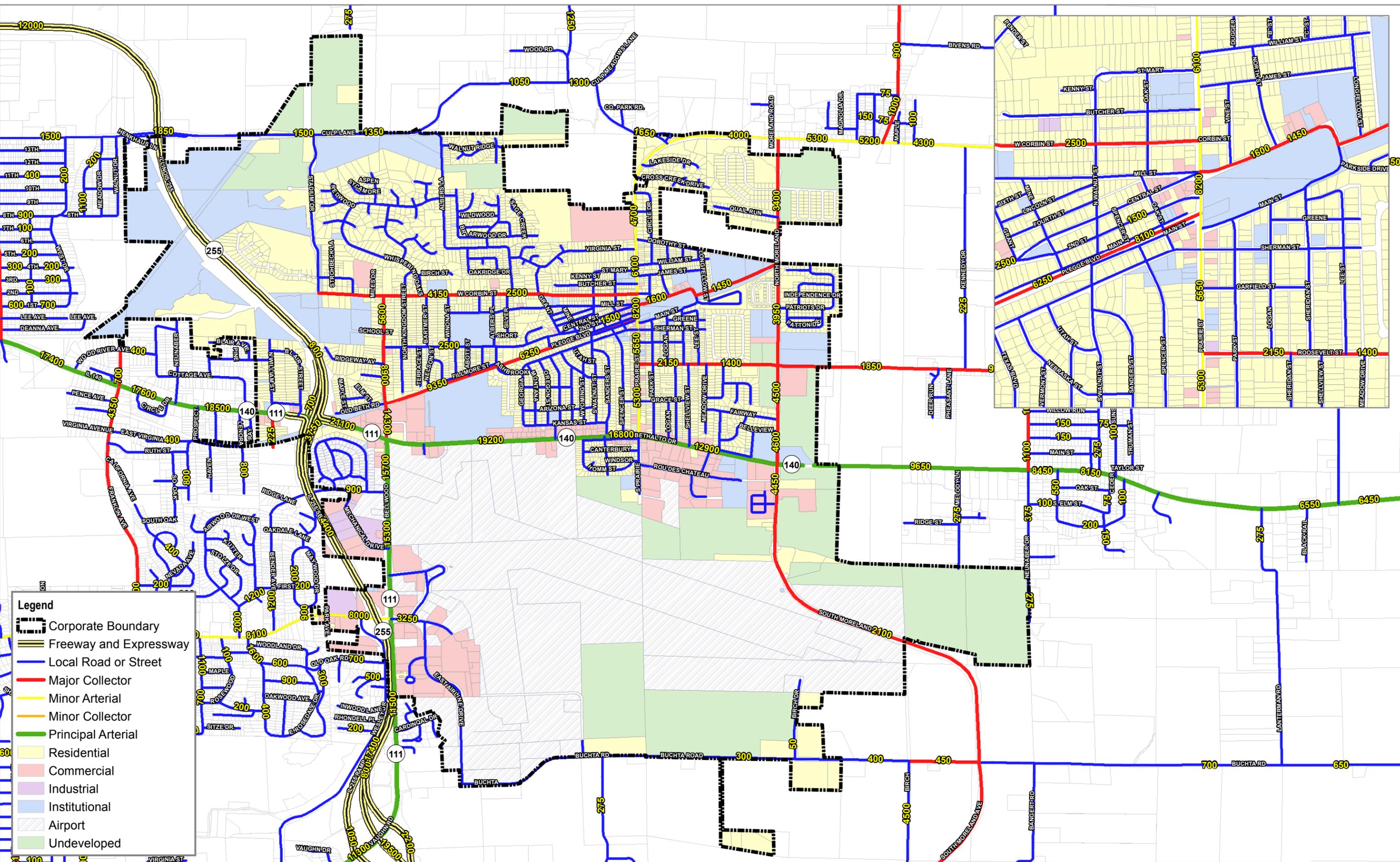




Map 2.5-1: Street Network by Street Type

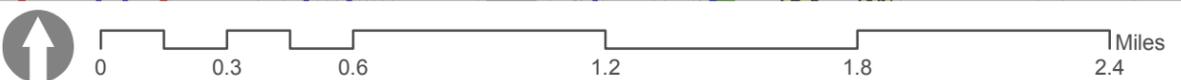


Map 2.5-2: Traffic Counts by Street Type

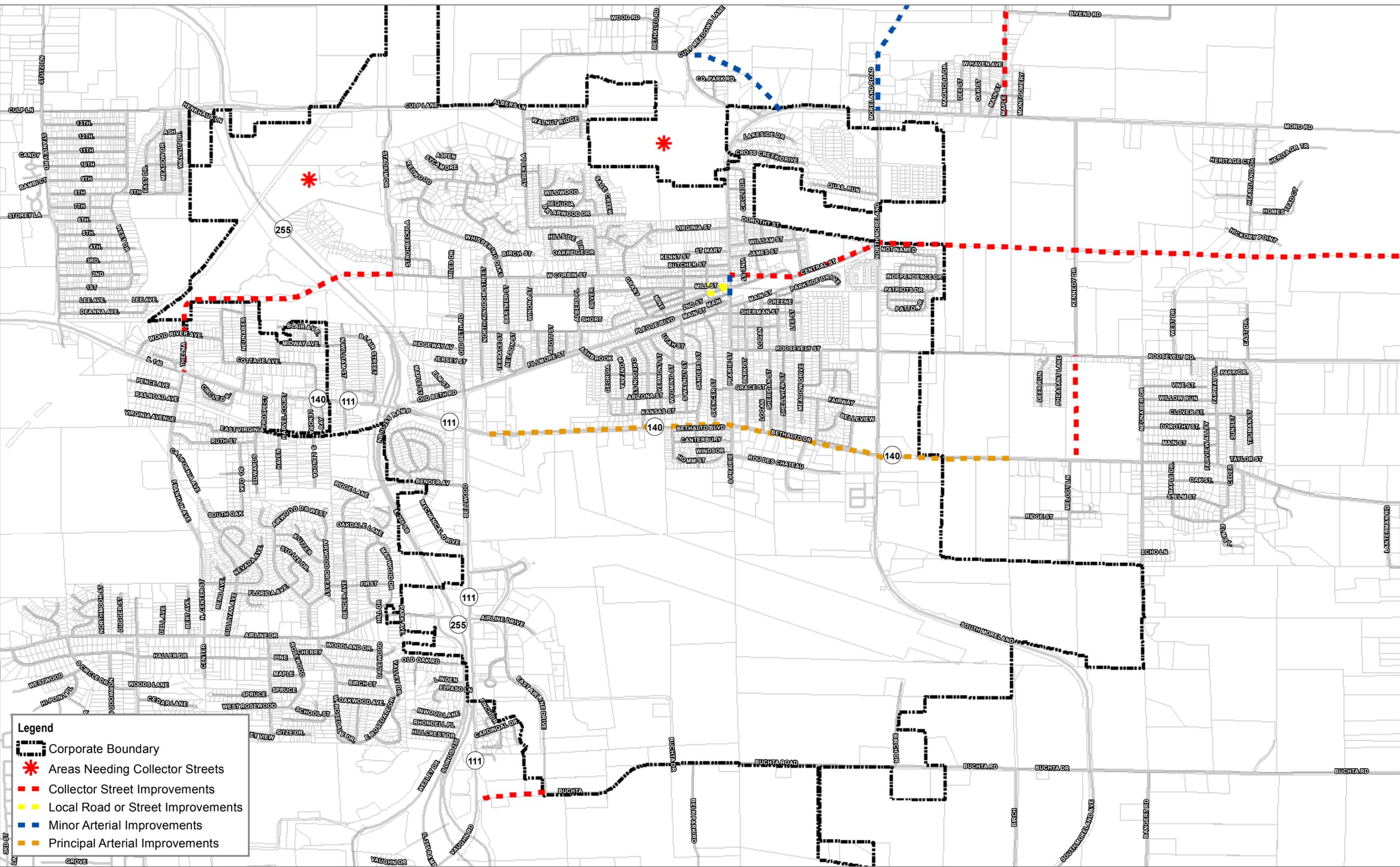


**Legend**

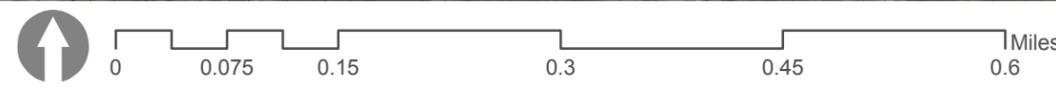
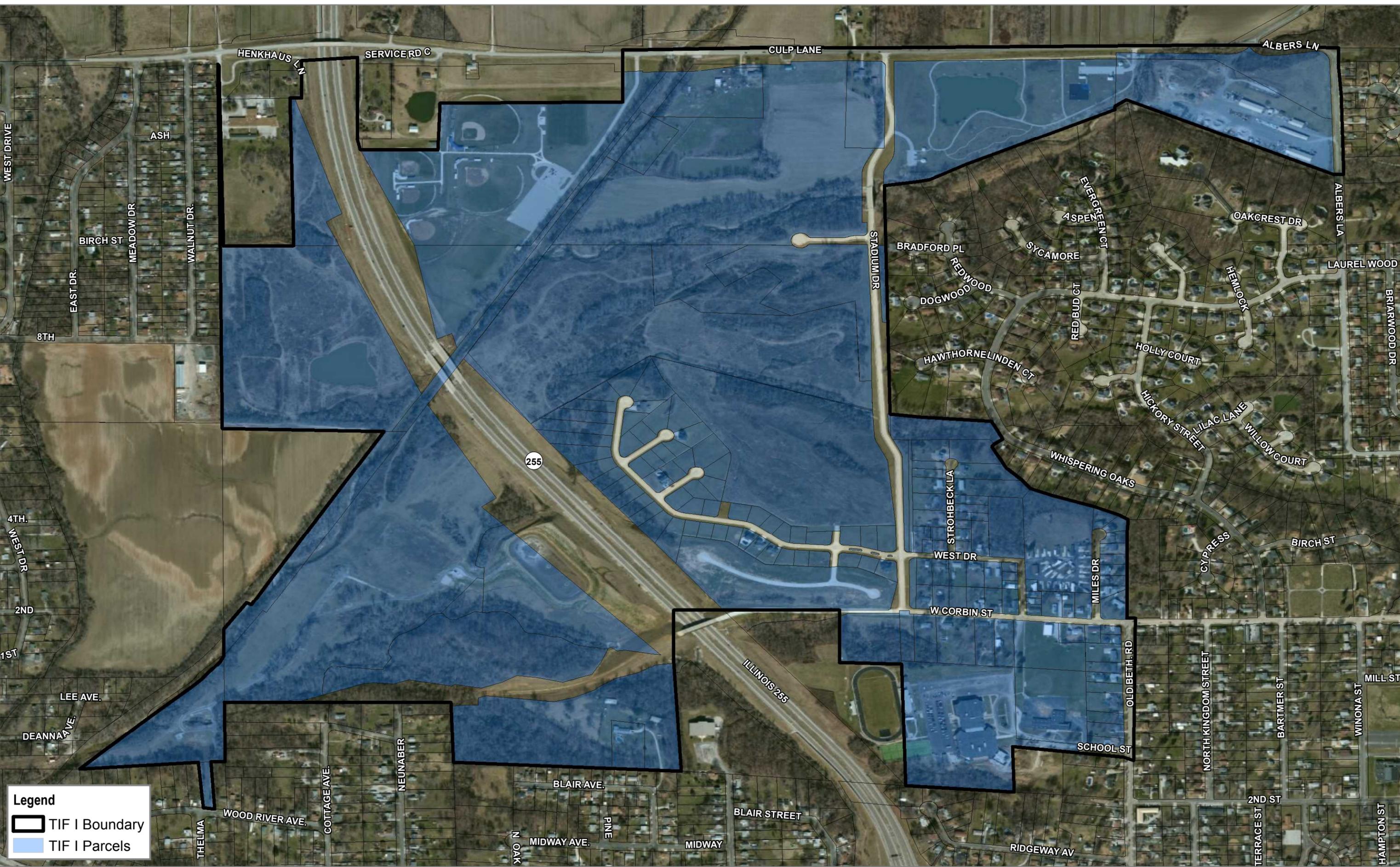
- Corporate Boundary
- Freeway and Expressway
- Local Road or Street
- Major Collector
- Minor Arterial
- Minor Collector
- Principal Arterial
- Residential
- Commercial
- Industrial
- Institutional
- Airport
- Undeveloped



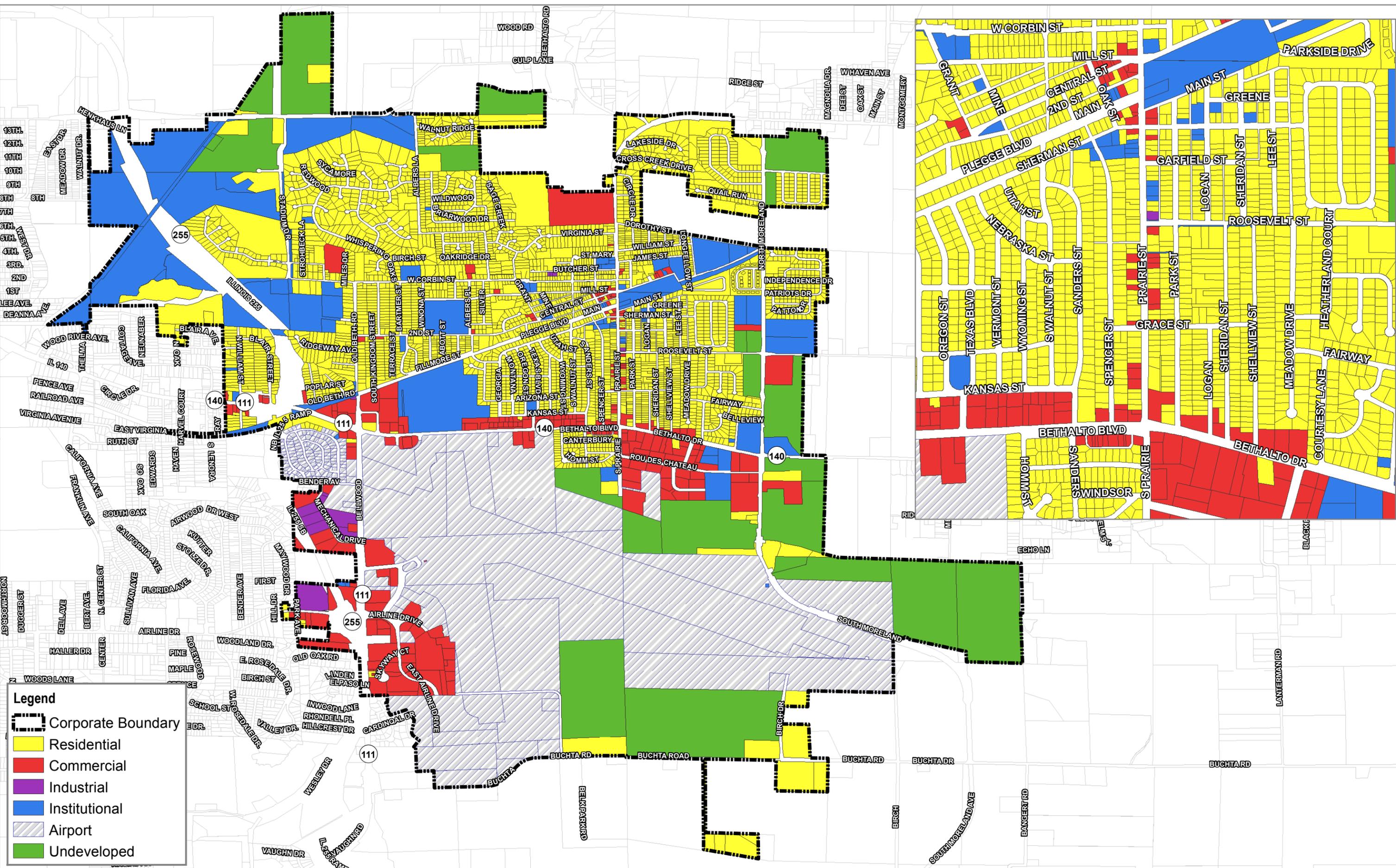
Map 2.5-3: Street Type and Land Use



Map 2.5-4: Future Transportation Improvements



Map 2.6-1: TIF I Boundary Map

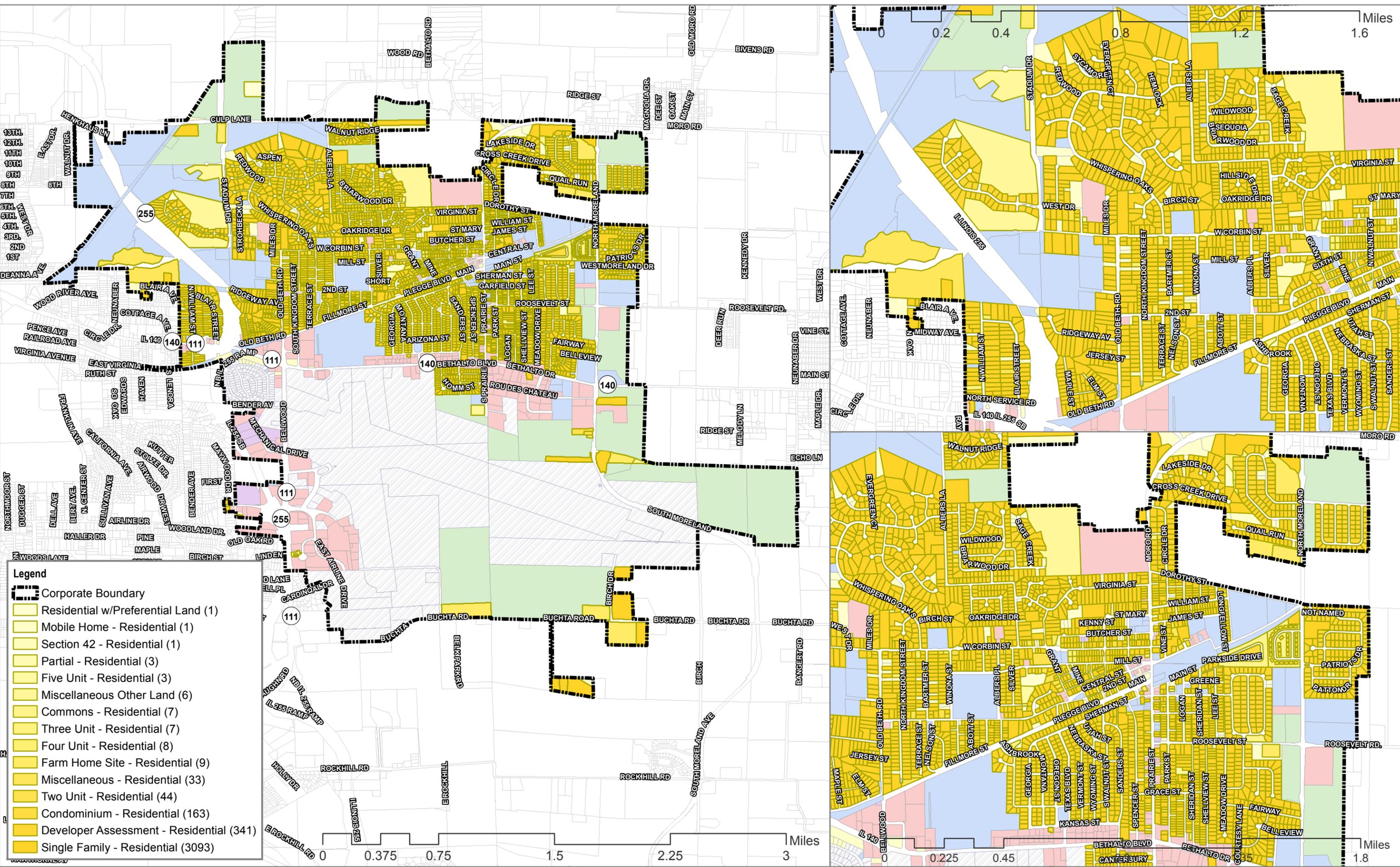


**Legend**

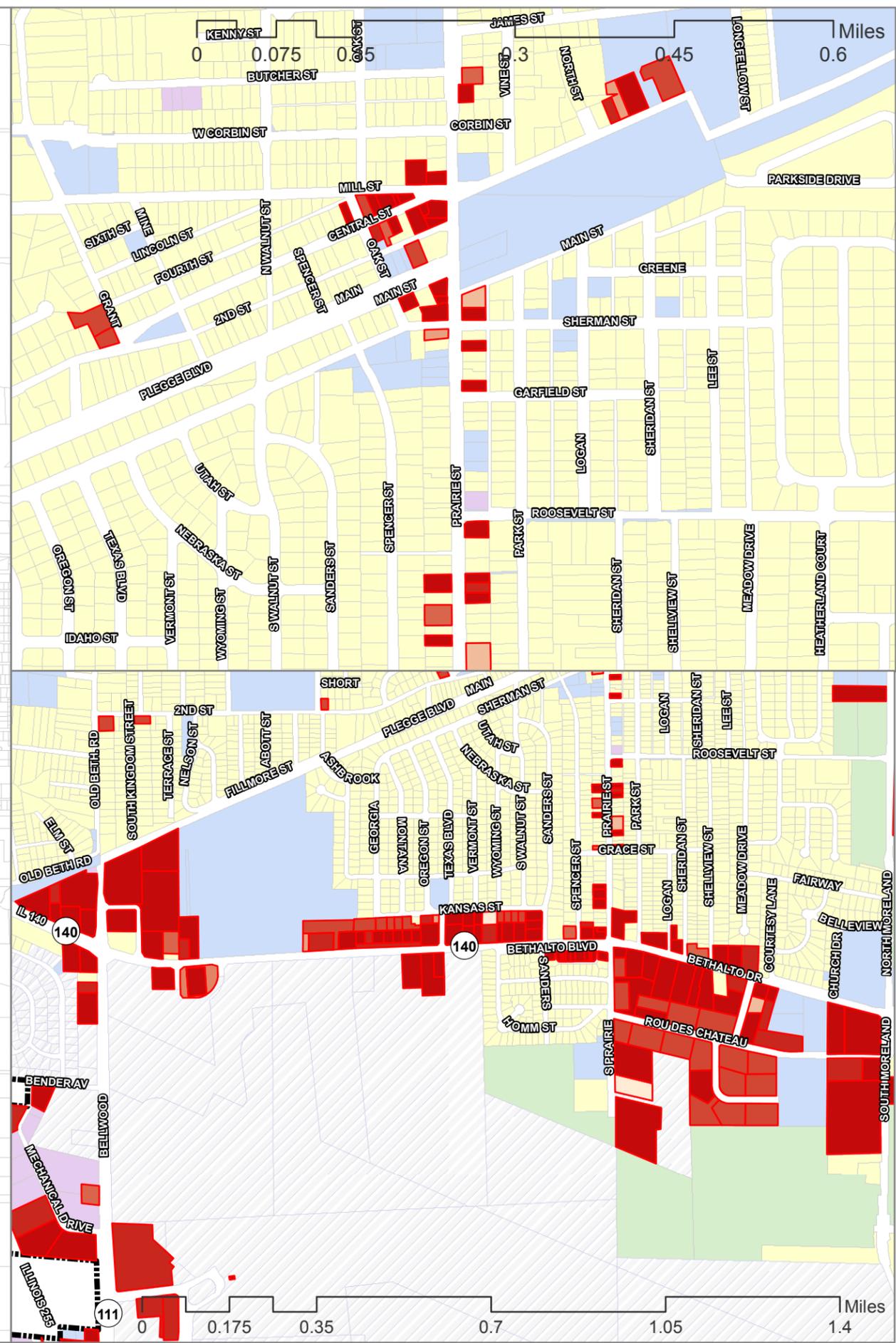
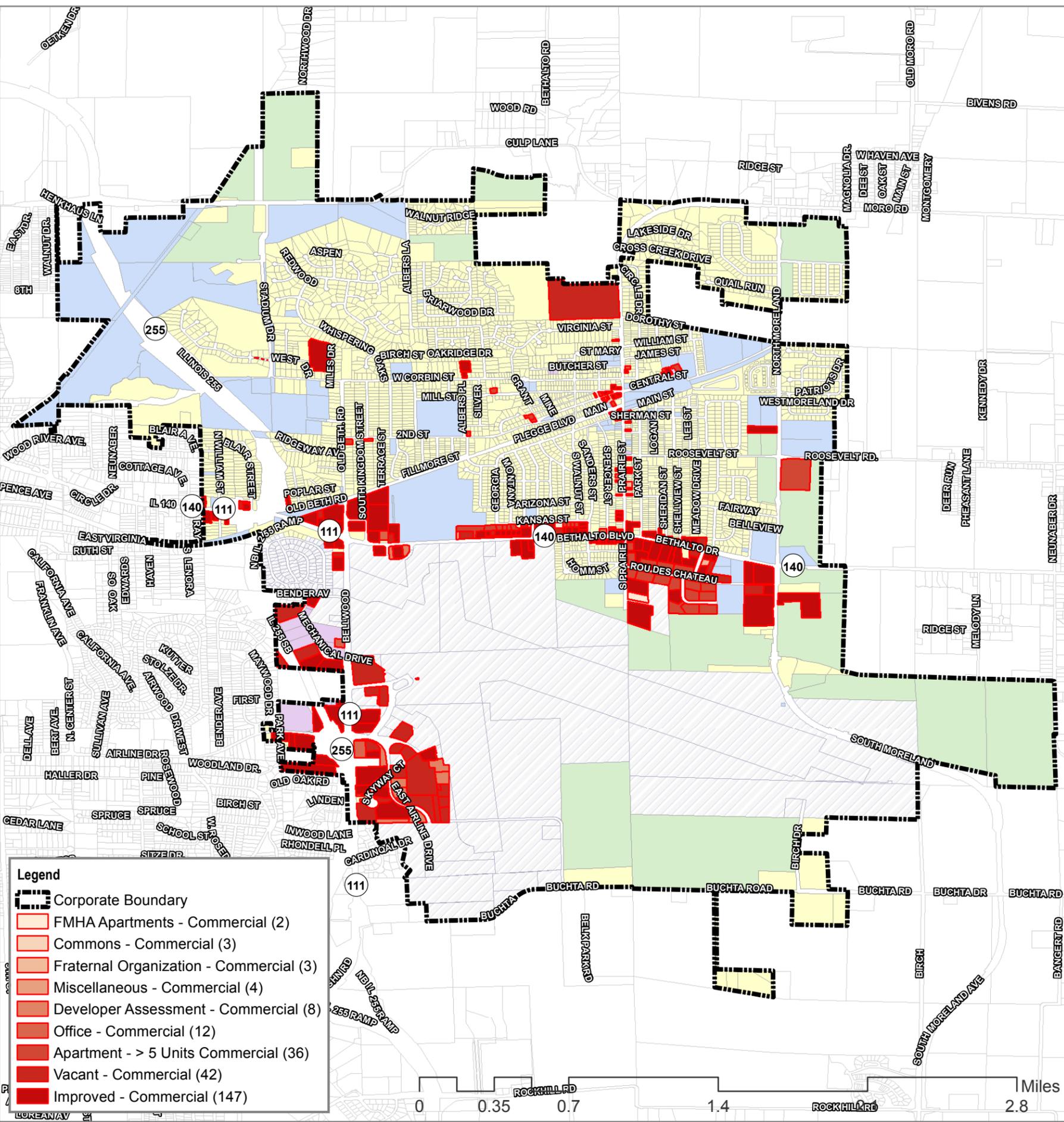
- Corporate Boundary
- Residential
- Commercial
- Industrial
- Institutional
- Airport
- Undeveloped



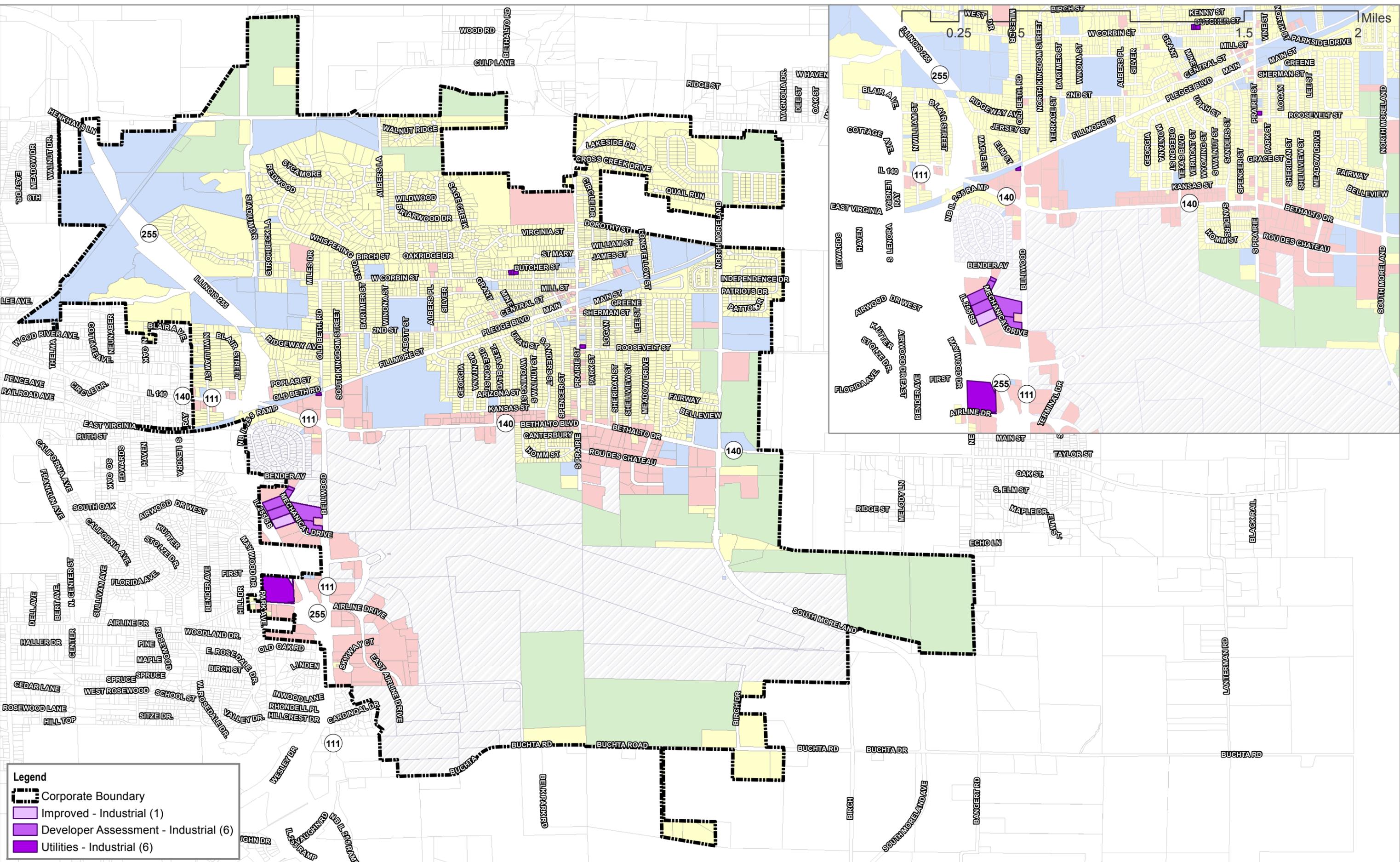
Map 2.12-1: Existing Land Use



Map 2.12-2: Residential Parcels

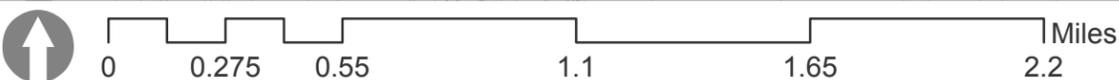


Map 2.12-3: Commercial Parcels

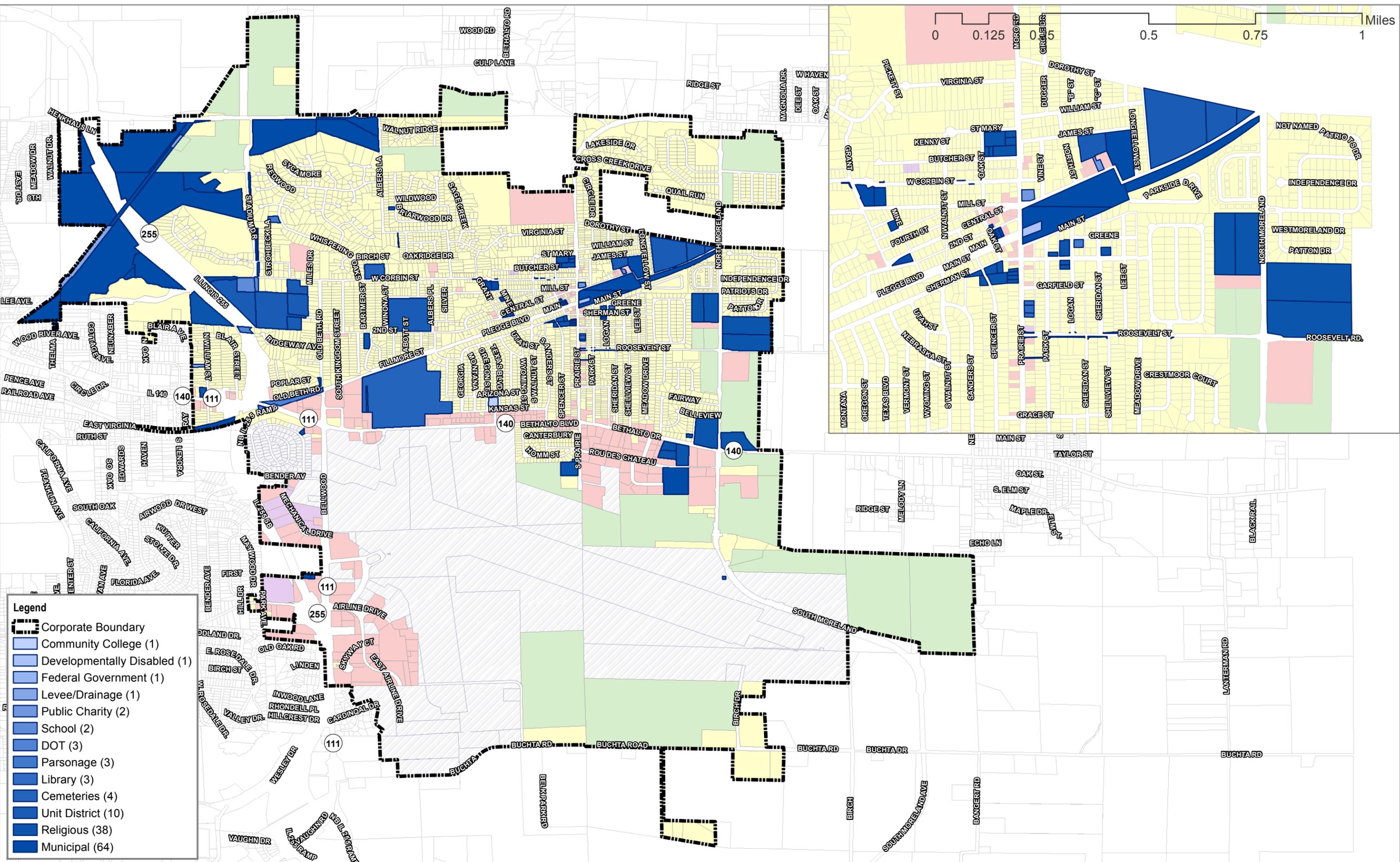


**Legend**

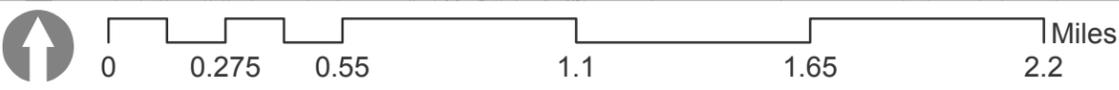
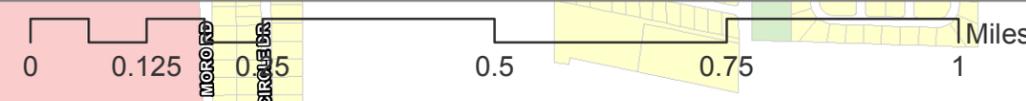
-  Corporate Boundary
-  Improved - Industrial (1)
-  Developer Assessment - Industrial (6)
-  Utilities - Industrial (6)



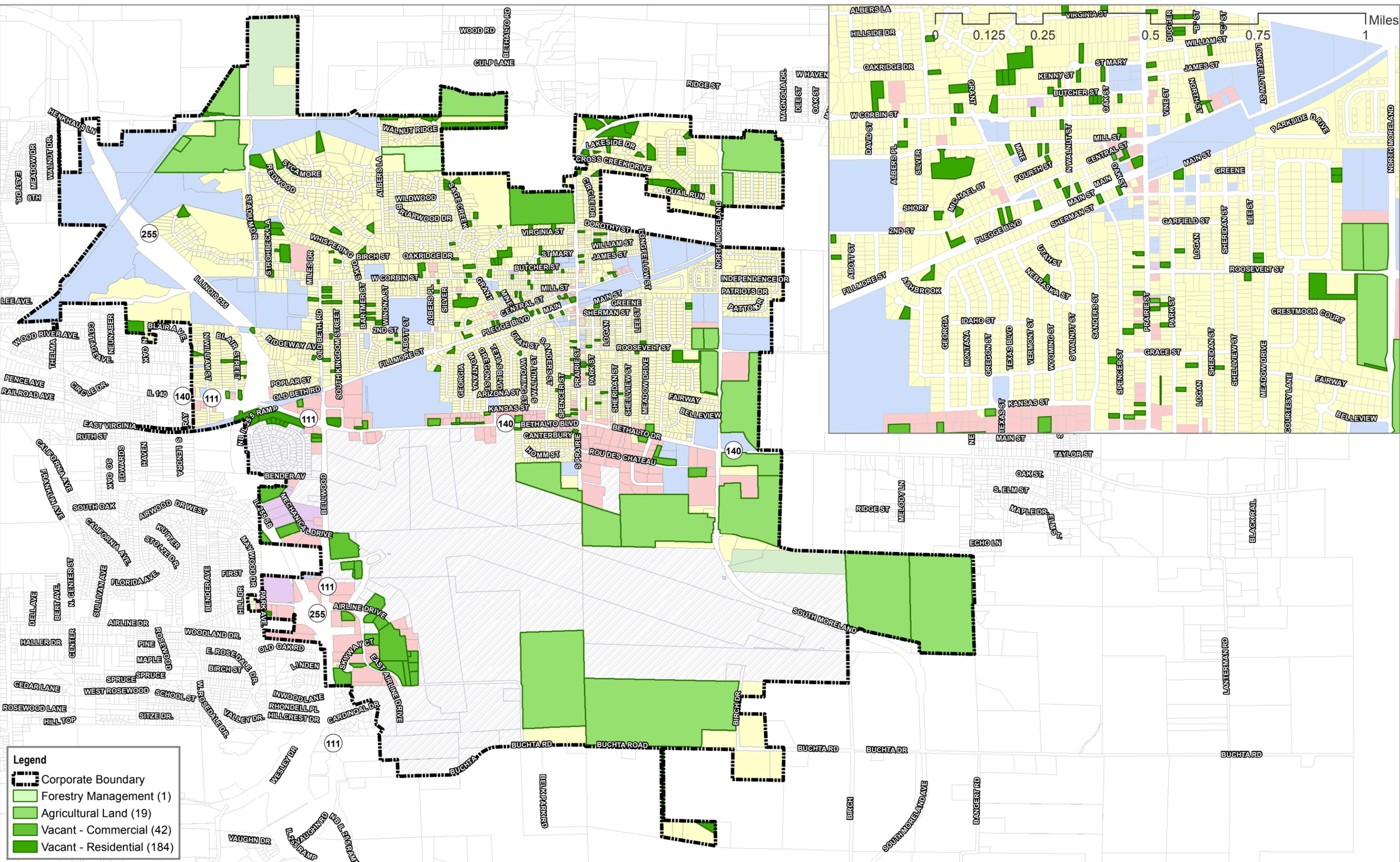
**Map 2.12-4: Industrial Parcels**



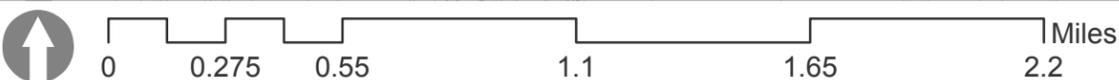
- Legend**
- Corporate Boundary
  - Community College (1)
  - Developmentally Disabled (1)
  - Federal Government (1)
  - Levee/Drainage (1)
  - Public Charity (2)
  - School (2)
  - DOT (3)
  - Parsonage (3)
  - Library (3)
  - Cemeteries (4)
  - Unit District (10)
  - Religious (38)
  - Municipal (64)



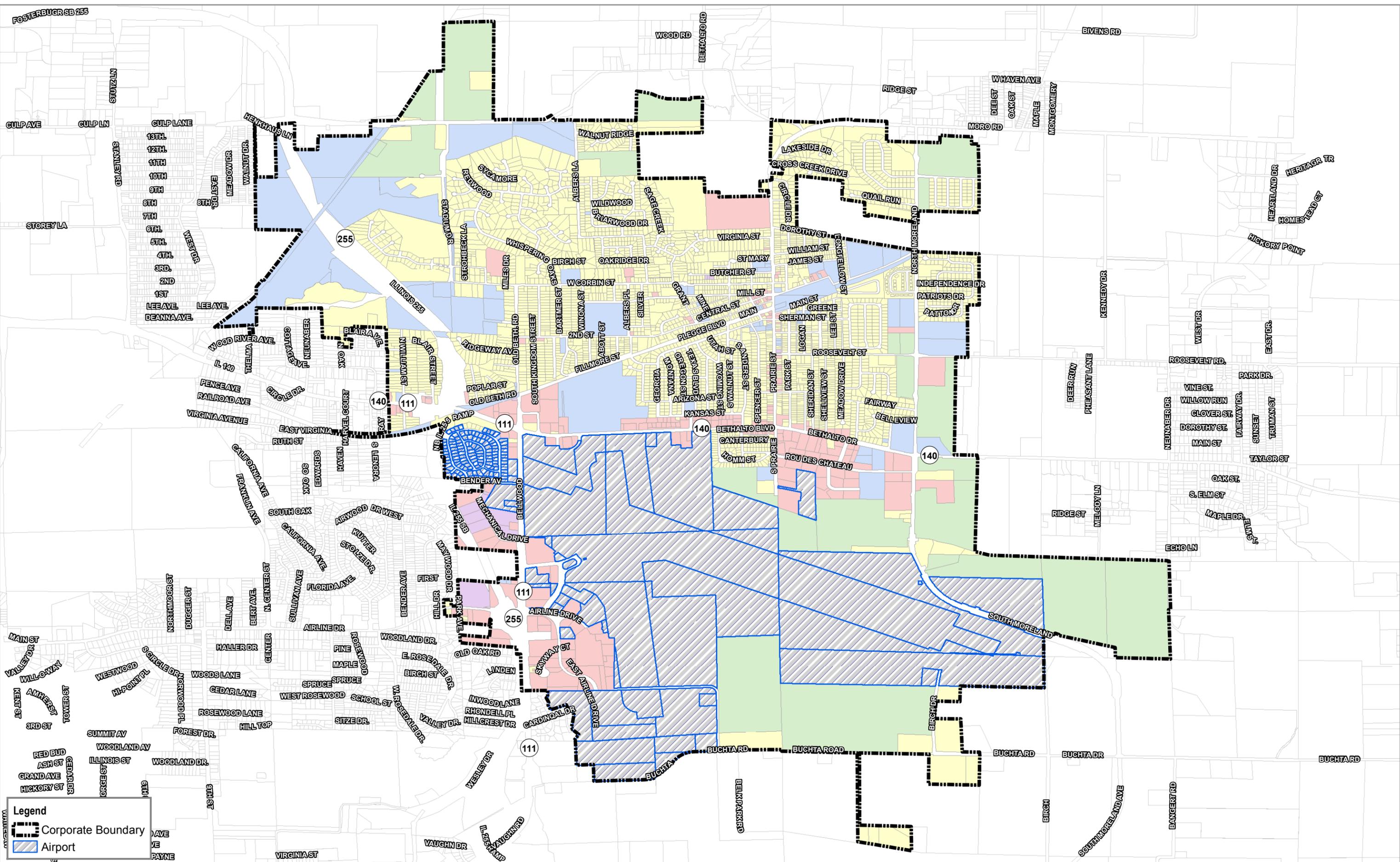
Map 2.12-5: Institutional Parcels



- Legend**
- Corporate Boundary
  - Forestry Management (1)
  - Agricultural Land (19)
  - Vacant - Commercial (42)
  - Vacant - Residential (184)

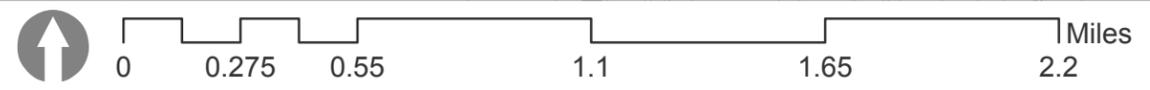


**Map 2.12-6: Undeveloped Parcels**

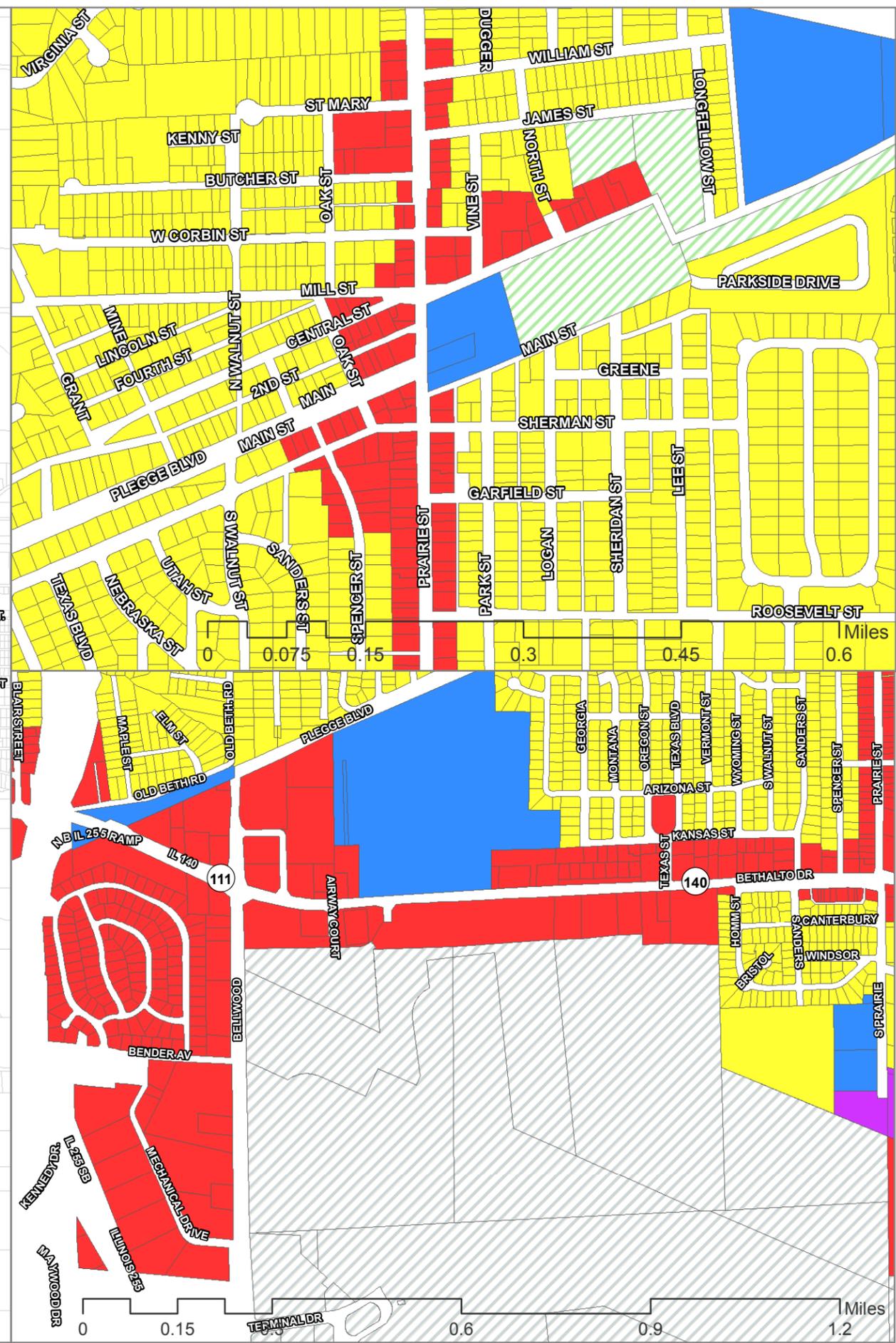
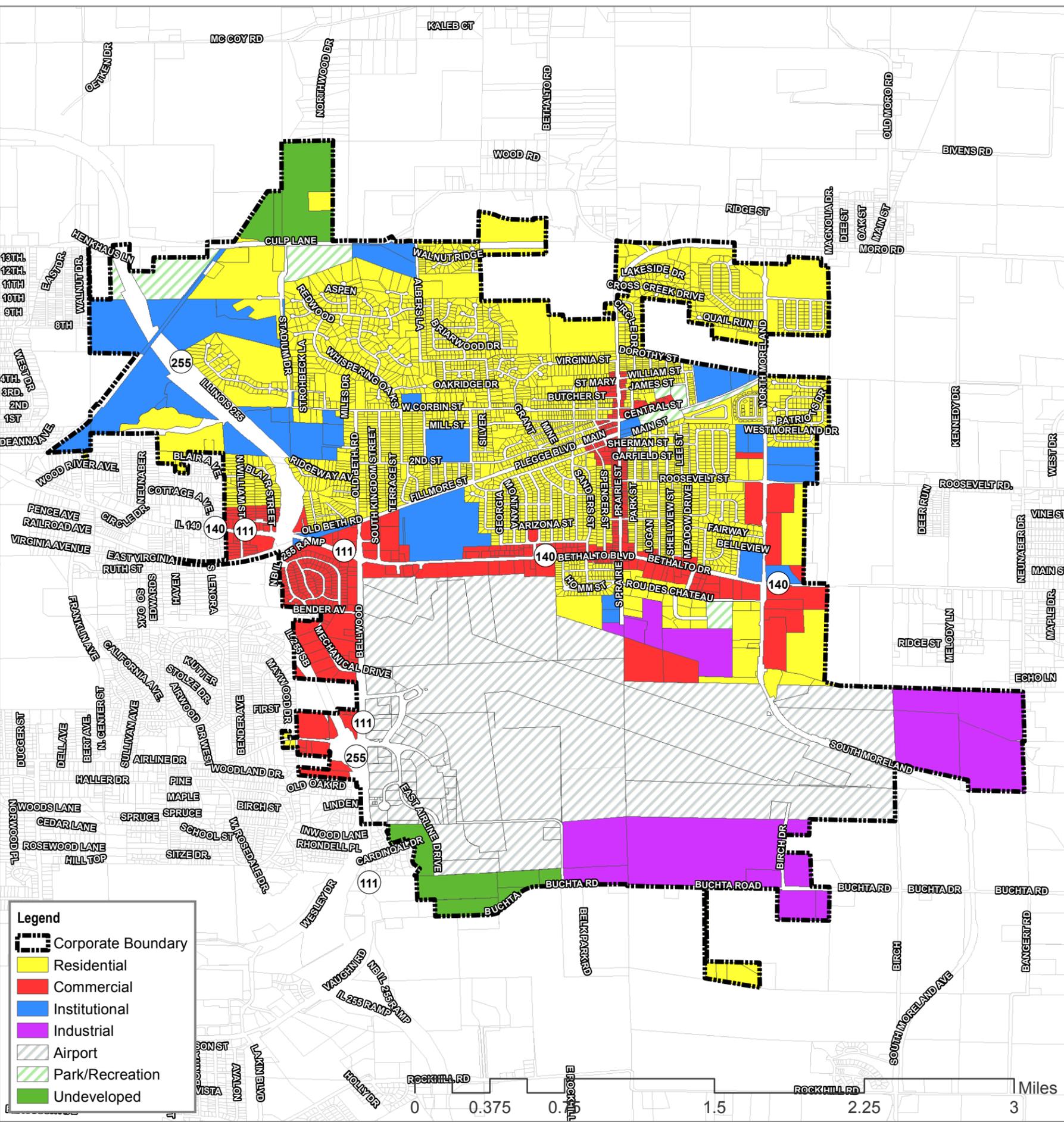


**Legend**

- Corporate Boundary
- Airport



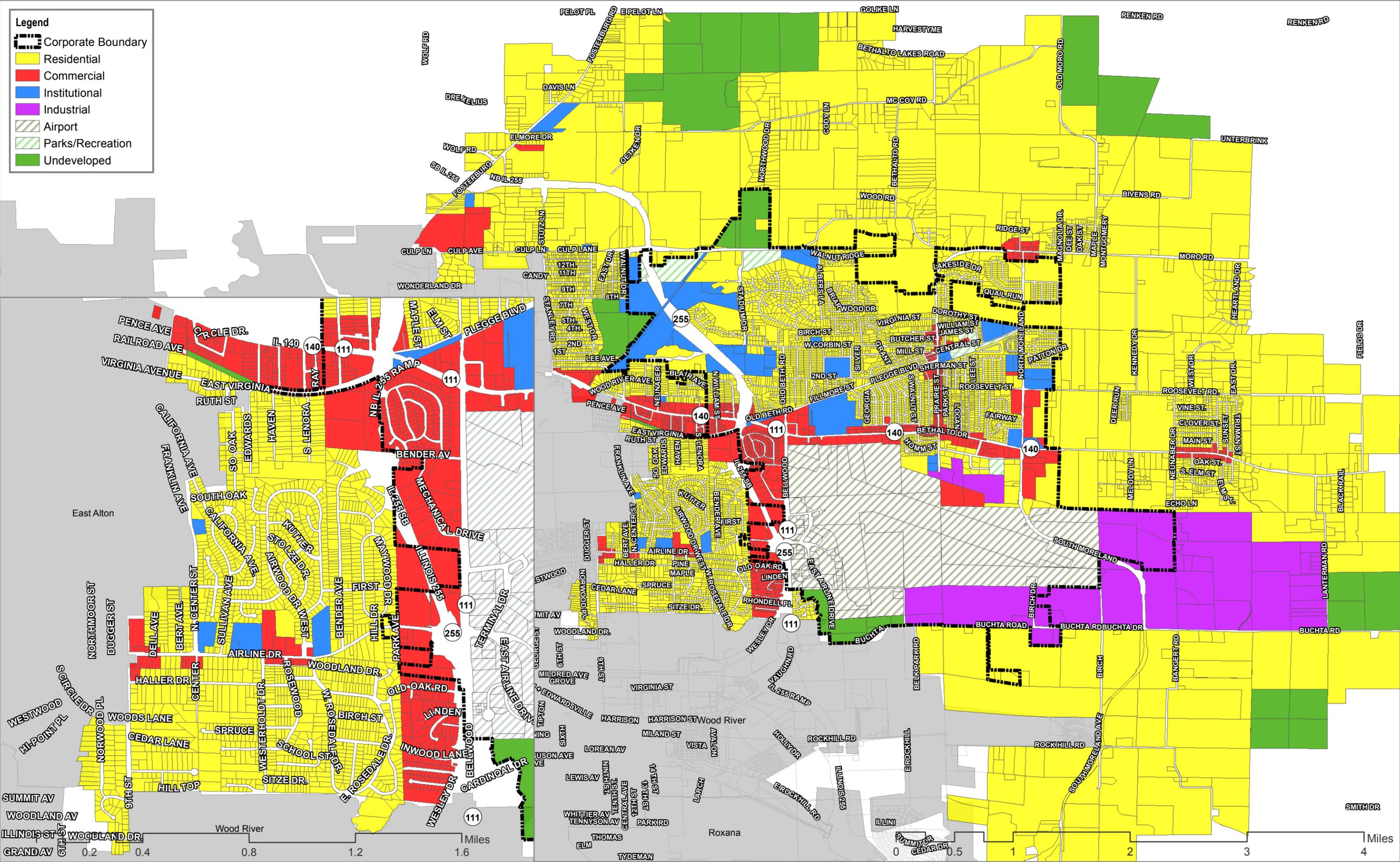
Map 2.12-7: Airport Parcels



Map 2.12-8: Future Land Use

**Legend**

-  Corporate Boundary
-  Residential
-  Commercial
-  Institutional
-  Industrial
-  Airport
-  Parks/Recreation
-  Undeveloped



Map 2.12-9: 1.5 Mile Future Land Use